

Clare & Gilbert Valleys Council

Township Site Histories to Support DPA

AUBURN – ALLOTMENTS 8 AND 58

PRELIMINARY SITE HISTORY ASSESSMENT

July 2014

Final Report

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Table of Contents

1	Introduction.....	1
2	Current Site Details	3
3	Historical Review	4
3.1	Ownership.....	4
3.2	Aerial Photograph Review	4
3.3	Council Records	4
4	EPA Section 7 Records.....	6
5	Dial Before You Dig.....	6
6	Regional Setting.....	7
6.1	Topography.....	7
6.2	Geology.....	7
6.3	Hydrogeology.....	7
6.4	Hydrology.....	7
7	Site Inspection.....	10
7.1	Lot 8	10
7.2	Lot 58	10
8	Discussion and Recommendations.....	11
9	References.....	14

List of Tables

Table 2-1: Individual Allotment Ownership.....	3
Table 3-1: Historical Ownership.....	5
Table 3-2: Aerial Photography Review.....	5
Table 5-1: Summary of Dial Before You Dig Responses	6
Table 6-1: Borehole Details.....	9
Table 8-1: Allotment 8 - Summary of Potential Issues.....	13
Table 8-2: Allotment 58 - Summary of Potential Issues.....	14

List of Figures

Figure 1-1: Site Location and Layout Plan.....	2
Figure 6-1: Borehole Location Plan.....	8

Appendices

Appendix A: Council Zoning Information

Appendix B: Aerial Photographs

Appendix C: EPA Section 7 Records

Appendix D: Dial Before You Dig Plans

Appendix E: Borehole Logs

Appendix F: Site Inspection Plates

1 Introduction

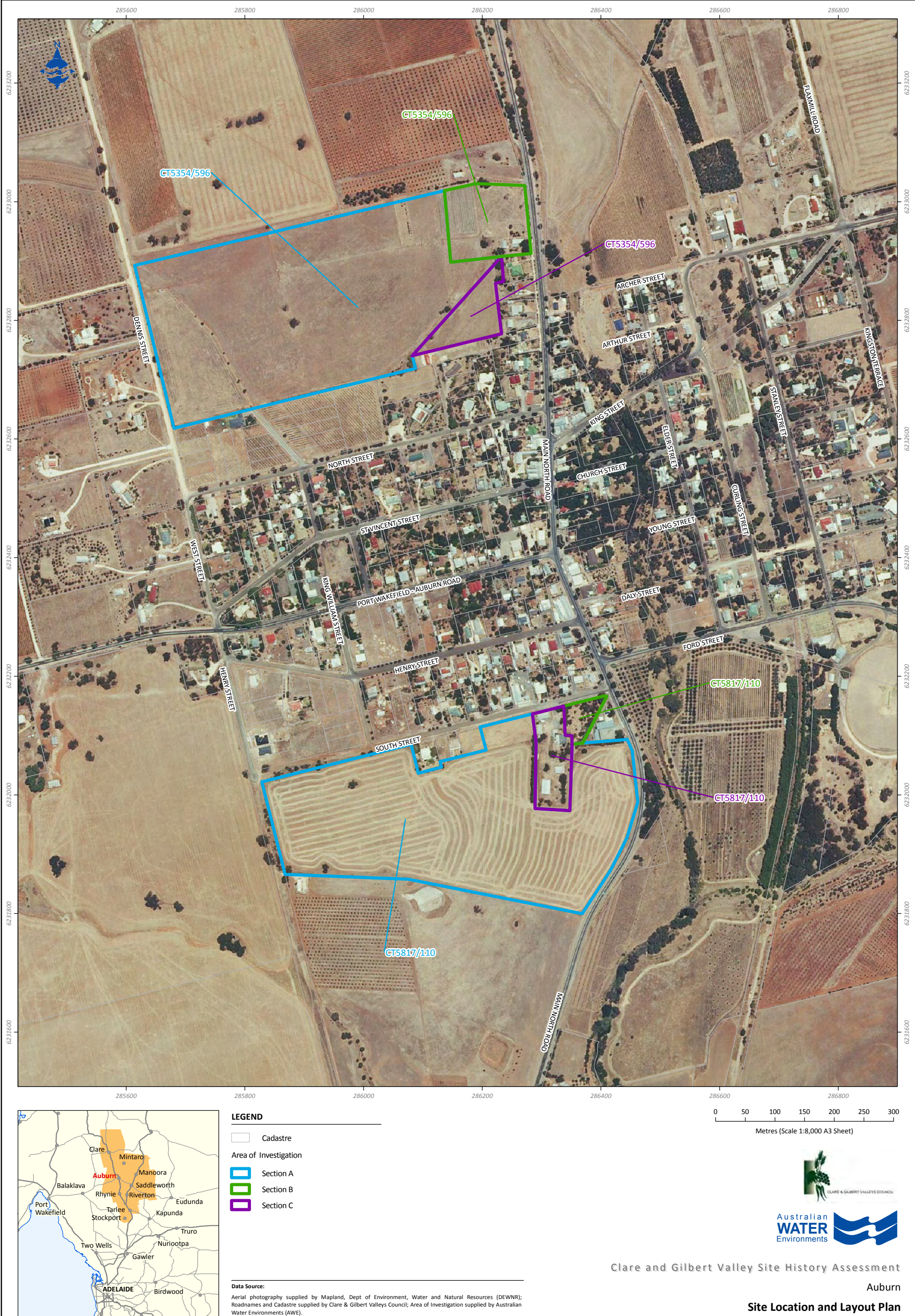
Australian Water Environments (AWE) was engaged by Clare and Gilbert Valleys Council to prepare a Preliminary Site History Assessment (SHA) for Allotments 8 and 58, Auburn to support the proposed rezoning of the land for urban development purposes from current Primary Production as detailed in the Clare and Gilbert Valleys District Townships and Settlements Development Plan Amendment (February 2014).

The objective of the SHA is to identify if any potential site contamination associated with current or historical site uses exists, and which may impact on the suitability of the site for proposed urban purposes.

A site location and layout plan is presented in Figure 1-1.

The scope of work for the investigation was undertaken in accordance with *Schedule B(2) – Guideline on Site Characterisation of the National Environment Protection (Assessment of Site Contamination) Measure 1999* with the following activities undertaken as part of the investigation.

- Review of current and previous certificates of title to assess ownership and possible former uses of the site;
- Review of historical maps, surveys and building plans of the site;
- A search of the EPA records held relevant to Section 7 – Land and Business (Sale and Conveyancing Act) 1994;
- Review of geographic, geological and hydrogeological information pertaining to the site including geological maps and bore search data;
- Review of current and historical uses of the site through inspection of historical aerial photographs;
- Identification of any potential site and adjacent activities that may have had a negative impact on site soils and/or groundwater;
- Site inspection to confirm current site layout and validate anecdotal evidence and historical information and identify evidence of potential contamination;
- Discussion with previous site owner(s) and/or employees for relevant site history; and
- Production of a report detailing the findings of the SHA and providing recommendations for any future Investigations, if required.



2 Current Site Details

Allotment 58

The site is located approximately 0.25km north west of the town centre. The allotment is bounded by;

- Dennis Street along the western boundary;
- Main north road along the eastern boundary; and
- Rural living/residential allotments along the southern boundary.

The site is characterised by broad acre farming.

Allotment 8

The site is located approximately 0.5km south west of the town centre. The allotment is bounded by;

- Residential allotments along the northern boundary;
- Henry St along western boundary;
- Main North Road along eastern boundary; and
- Broad acre farming along southern boundary.

The site is characterised by broad acre farming.

Refer to Table 2-1 for individual allotment ownership.

TABLE 2-1: INDIVIDUAL ALLOTMENT OWNERSHIP

Allotment No.	Parent CT	Name of CT Owner	Date (start)
Allotment 58	CT 6082/451	Petrie McCabe	22/08/2011
Allotment 8	CT 5817/110	GE& PW Lamkin	18/10/2000

Additional site information is provided below:

AREA OF INVESTIGATION	Total Site – approximately 31.4ha
SITE	Lot 58 – 17.0 ha
	Lot 8 – 14.4 ha
LOCAL GOVT. AUTHORITY	Clare and Gilbert Valleys Council
CURRENT ZONING	Primary Production (refer to Appendix A for more detail on zoning)
PROPOSED ZONING	Urban development (CGVC 2014, Appendix A)
SITE USAGE	Broad acre farming

3 Historical Review

3.1 Ownership

Historical ownership information was gathered direct from Lands Title Office (LTO) electronic information. Detailed historical ownership is presented in Table 3-1.

3.2 Aerial Photograph Review

A review of historical aerial photographs provided by the Department of Environment & Heritage (Mapland) for 1979, 1987, 1994 and 2008 was undertaken. The observations from the aerial photography review are presented in Table 3-2 with selected aerial photographs provided in Appendix B.

3.3 Council Records

No additional information (layout plans, services etc.) was available for the site from Council records.

TABLE 3-1: HISTORICAL OWNERSHIP

Allotment No.	Parent CT	Name of CT Owner	Profession	Commencement Date	Other Details
Allotment 58	CT5354/596				Current Title
	CT4034/875	Overton Bros. Proprietary Limited		10/01/1975	Transferred to Centrac Pty Ltd on the 7/4/1982. Cancelled and new computerised title issued. New certificate for the balance of land in Volume 3045 and Folio 9.
	CT3045/9	Kenneth Paul Overton	Butcher/Baker	15/03/1962	Transferred to Overton Brothers on the 5/6/1964. New certificate of title for whole of the land in Volume 278 and Folio 184.
	CT278/184	Martin Warren	Farmer	16/5/1878	Transferred to Samuel Mitchell Burfield on the 17/3/1884. Transferred to Sarah Ann Burfield on the 26/10/1906. Transferred to Wilfred Burfield Overton on the 5/3/1950. Transferred to Kenneth Paul Overton (butcher).
	CT5288/92				Totally cancelled.
	CT2317/31	Kenneth Paul Overton	Butcher/Baker	1/04/1917	Transferred to Overton Brothers Pty Ltd on the 5/6/1964. Transferred to Centrac Pty Ltd on the 7/4/1982.
	CT3081/114	Wilken Limited		28/06/1962	Transferred to Overton Brothers Pty Ltd on the 5/6/1984. Transferred to Centra Pty Ltd on the 2/4/1962.
Allotment 8	CT5817/110				Current Title
	CT3915/85	Ronald and Coral Blatchford	Farmers	21/03/1973	Transferred to Lindsay James Wytkin on the 16/7/1973. Transferred to Phillip William Lamkin (sales representative) and Gaynor Ellen Lamkin (wife). Cancelled as regards the within land and new computerised title issued. New certificate of title for the whole of land in Volume 1487 and Folio 171.
	CT1487/171	Murray Newton Wishart	Auburn Farmer	14/10/1927	Transferred to Herbert Grange Allen (Auburn Farmer) on the 2/9/1938. Transferred to Murray Scott (farmer) on the 29/5/1945. Transferred to John Ferguson (Pinnaroo Grazier) on the 13/4/1955. Transferred to Maude Ferguson on the 27/5/1958. Transferred to Ronald and Coral Blatchford on the 20/11/1961.
	CT5454/648				Totally cancelled.
	CT4282/91	Phillip William Lamkin	Engineer	1/10/1986	Cancelled and converted to a computerised title. New certificate for the balance of land in Volume 3673 and Folio 77.
	CT3673/77	Ronald and Coral Blatchford	Farmers	16/12/1969	Transferred to Lindsay James Wytkin on the 16/7/1973. Transferred to Phillip William Lamkin (sales representative) and Gaynor Ellen Lamkin (wife) on the 7/2/1974. Cancelled as regards the within land and new computerised title issued. New certificate of title for the whole land Volume 1239 and Folio 80.
	CT1239/80	Frederick William Schottelius	Murray Bridge Dairyman	29/05/1922	Transferred to Samuel Appleton on the 14/6/1929. Transferred to Walter Julius Pfeiffer on the 7/8/1936.

TABLE 3-2: AERIAL PHOTOGRAPHY REVIEW

FRAME/SURVEY No PHOTO	ALLOTMENT NO.	DATE	OBSERVATIONS
Mapland: 2340_116 Scale 1: 40,000 Colour	Lot 58	5/01/1979	The 1979 aerial photograph demonstrates a landscape dominated by broad acre farming. There appears to be a series of farming allotments located along the south east boundary of the property. The property is dotted with some vegetation. The main road along the eastern boundary appears sealed while all other roads borderin the property are unsealed.
	Lot 8		The 1979 aerial photograph demonstrates a landscape dominated by broad acre farming. There appears to be one residential allotment located on the northern boundary. The main road through the township appears to be sealed while all other roads appear unsealed. There appears to be vegetation lining the western boundary of the property and other vegetation dotted around the property.
Mapland: 3560_81 Scale 1:40,000 Colour	Lot 58	1/01/1987	The 1987 aerial photograph indicates that the property has not been used for broad acre farming for a period of time. It appears there is a vineyard which borders the southern boundary of the property. A small overland flow path which traverses the south west corner of the property, appears to be more defined compared to the 1979 aerial photograph. All main roads remain sealed, while adjacent streets/roads appear to be a combination of seal and unsealed. There appears to be a number of new buildings located adjacent to south west corner of the property.
	Lot 8		The 1987 aerial photograph indicates a similar layout to the 1979 aerial photograph. There appears to be some new buildings associated with the property adjacent the north eastern corner of the property. The aerial indicates the main road sealed and all other unsealed.
Mapland: 4780_25 Scale 1:40,000 Colour	Lot 58	1/03/1994	The 1994 aerial photograph indicates a similar layout to the 1987 aerial photograph. The aerial photograph indicates more residential development in Auburn and the vegetation within adjacent allotments appears to be denser. The main road appears to be sealed and predominantly most of the other roads appear to be sealed as well.
	Lot 8		The 1994 aerial photograph indicates that the property is still used for broad acre farming. The aerial photograph indicates the road which borders the northern boundary of the property remains unsealed. The vegetation along the western boundary appears slightly denser compared with the 1987 aerial photograph.
Mapland: 2008 meta data Resolution 90cm Colour	Lot 58	2/03/2008	The 2008 aerial photograph indicates similar layout to the 1994 aerial photograph. There appears to be significant residential development in Auburn and particularly along the southern boundary of the property. There appears to be a small vineyard in the north east corner of the property. The aerial indicates vegetation along the defined overland flow path in the south west corner. The property appears to have been divided in more recent times, with a series of fences throughout the property.
	Lot 8		The 2008 aerial photograph indicates similar layout to the 1994 aerial photograph. The aerial indicates the property is still used for broad acre farming. The vegetation bordering the property in the north east corner appears denser. The immediate surrounds is broad acre farming with some new orchards and vineyards.

4 EPA Section 7 Records

A copy of the EPA records held relevant to section 7 – Land and Business (Sale and Conveyancing Act) 1994 were obtained and reviewed. No evidence of any environmental encumbrances or contaminating activities are recorded in the documentation. Copies of the EPA Section 7 records are provided in Appendix C.

5 Dial Before You Dig

Dial Before You Dig (DBYD) web searches were undertaken (see table 5-1). Underground services trenches are potential pathways for contamination into or off-site. DBYD responses and discussions with SA Water, SA Power, and Telstra SANT generally reported services which predominantly follow property boundaries with the exception of a SA power and Telstra cable associated with the farmhouse located on Allotment 8. DBYD responses are provided in Appendix D.

TABLE 5-1: SUMMARY OF DIAL BEFORE YOU DIG RESPONSES

Allotment No.	Epic Energy	SA Water	Telstra	NextGen Networks	SA Power	Description/Comments
Allotment 8	No	No	Yes	No	Yes	All Epic Energy , SA Water, NextGen Networks generally reported services which predominantly follow property boundaries. Telstra identified an underground cable running through the property and SA Power reported a small cable on the property.
Allotment 58	-	No	No	No	No	All SA Water, Telstra, SA Power generally reported services which predominantly followed property boundaries.

6 Regional Setting

6.1 Topography

The Department of Environment and Heritage ten (10) metre topographic contours covering Auburn indicates allotment 58 lies between 330 mAHD and 320 mAHD, and allotment 8 lies between 320 mAHD and 300 mAHD. The area for both allotments slopes towards the east.

6.2 Geology

The town of Auburn, including the subject land, is located within the regionally extensive Adelaide Geosyncline fold belt defined by the series of north-south trending ranges and valleys of the area. The dominant local Basement geological formation is the Auburn Dolomite which contains minor dark slate and siltstone layers, and the Watervale Sandstone and other quartzite members (*Adelaide Geological Map Sheet*). Little or no outcrop of the Basement rock was observed on the subject land. Available bore log information in the area indicate depths of clay and gravel topsoil generally ranging between 5m and 12m overlying the Basement rock, although no site specific borehole data on soil thickness is available.

Soils information obtained from *Nature Maps* indicates the site is characterised by gradational soils with highly calcareous lower subsoil (gradational loam on rock). The soils are rated to have low salinity, and negligible Acid Sulphate Soil Potential. Soil water erosion potential is classified as moderate (engineered works needed).

6.3 Hydrogeology

A bore search utilising Water Connect website was undertaken. The groundwater bore search identified 37 bores within a 1.5km radius from bore 6629- 1212 (bore hole locations are shown on Figure 6-1). Of the 37 groundwater bores 11 are identified as operational, 6 abandoned and the remaining 30 are unknown status.

Available drill hole information from the district has reported the following:

- Bores were drilled for domestic and irrigation purposes;
- Bore hole depths ranged from 4.82 mbgl to 90 mbgl;
- Depth to water ranged from 0.56 metres below ground level (mbgl) to 13.5 mbgl, and
- Salinity ranged 395 mg/L to 3 580 mg/L.

Borehole details are presented in Table 6-1, and available groundwater well log data are provided in Appendix E.

6.4 Hydrology

The major tributary which flows through Auburn is the Wakefield River. The river is known to be being ephemeral, flowing in large rainfall events. The total catchment area for the Wakefield River is 690 km². The Wakefield River terminates in the Port Wakefield Estuary.

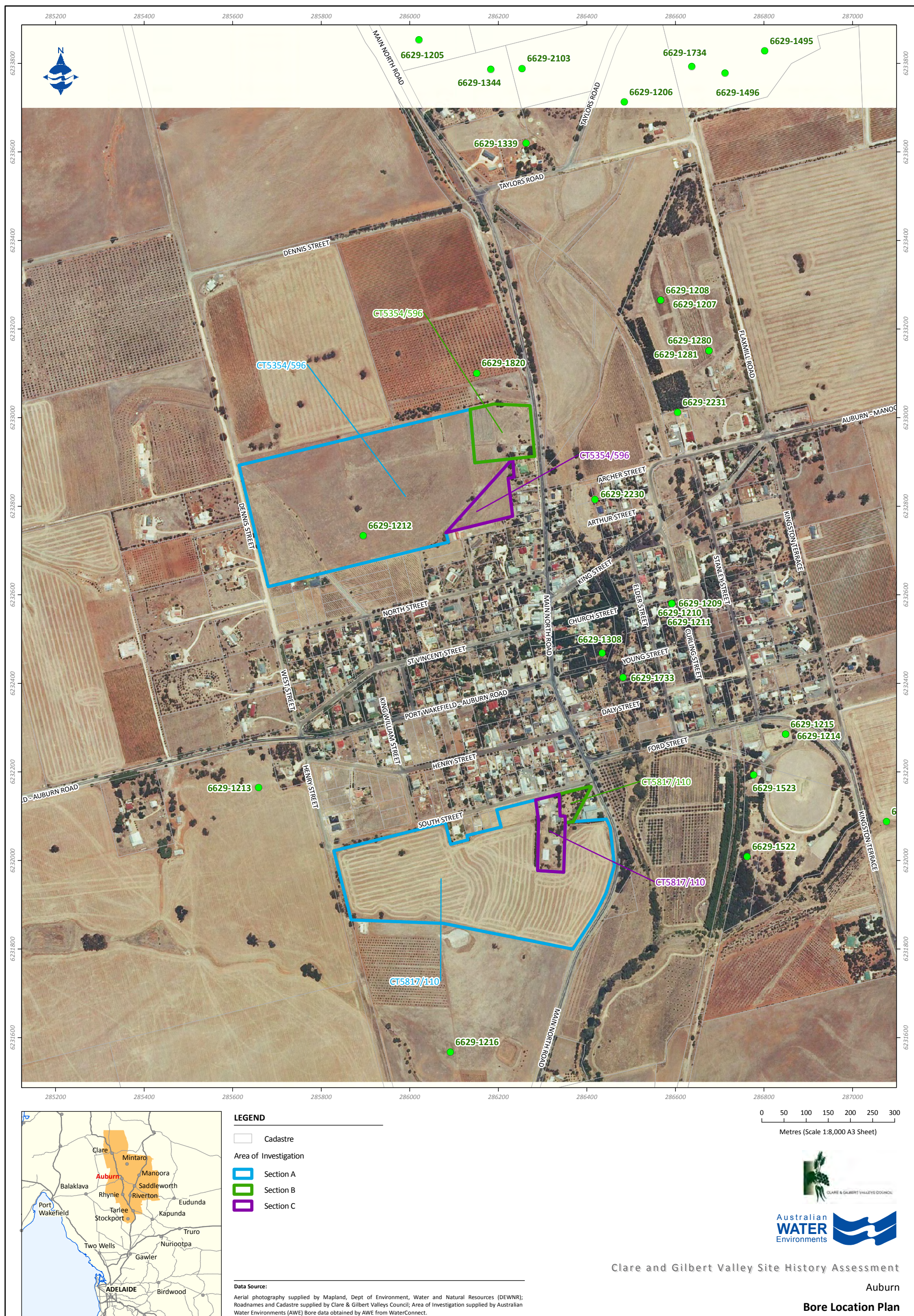


TABLE 6-1: BOREHOLE DETAILS

Unit No.	Drill Depth (mbgl)	Drill date	Latest status	Latest status date	SWL (mbgl)	RSWL	TDS (mg/L)	EC (uS/cm)	pH	yield (L/S)	MGA Easting	MGA Northing	MGA Zone
6629-1339	4.82	22/02/1989	OPR				395	718	7.98		286263.06	6233620	54
6629-1203	14.33	25/03/1976	OPR		0.61	309.7	1132	2050	7.7	2	285914.85	6234090.38	54
6629-1202	11.28	25/03/1976	OPR		1.22	312.23	1360	2456	7.6	3.15	285958	6234187	54
6629-1343	67	4/04/1989	ABD	4/04/1989	1.8	313.1	1396	2520	7.4	0.25	285850.91	6234102.36	54
6629-1204							1457	2631			286003.89	6233986.31	54
6629-1205	21	26/07/1973					1469	2652	7	2.3	286020.85	6233853.31	54
6629-1345		21/06/1989	OPR		4.52	303.14	1658	2990	7.95		286011.11	6234063.06	54
6629-1340	5.18	22/02/1989	OPR		4.32	305.38	1670	3010	7.65		286076.1	6233902.96	54
6629-1820	75	2/08/2001			7.2	302.14	1754	3160		1.25	286151.49	6233100.53	54
6629-2231	30	19/12/2007			9.9	291.76	1782	3210		0.81	286605.09	6233011.82	54
6629-1210							1884	3394			286591.85	6232580.33	54
6629-1212							1928	3470			285894.88	6232733.32	54
6629-1344	4.87	21/06/1989	DRY	4/03/2009	8.27	299.73	2001	3600	7.68		286183.14	6233786.98	54
6629-1214	62	2/11/1978					2001	3600	7.8	0.5	286848.9	6232285.41	54
6629-2103	35	7/12/2005	OPR	4/03/2009	5.31	304.23	2097	3770		0.75	286253.68	6233788.43	54
6629-1207							2142	3850			286566.86	6233265.33	54
6629-1733	12	2/06/1998			3.5	294.51	2143	3850		1.88	286481.99	6232413.37	54
6629-1280	25	15/01/1983	ABD	15/01/1983			2171	3900	7.2	0.5	286675.88	6233151.39	54
6629-2230	21	7/06/2007			8.7	291.02	2182	3920		1.88	286418.64	6232815.11	54
6629-1215	90	3/11/1978	ABD	3/11/1978			2194	3940	7.5	0.5	286848.9	6232285.41	54
6629-1523	12	6/01/1995					2234	4010	7.4	3.5	286776.79	6232193.43	54
6629-1211							2270	4077			286591.85	6232580.33	54
6629-1206							2271	4079			286484.85	6233713.33	54
6629-1522	12	6/01/1995	ABD	6/01/1995			2290	4110	7.3	0.5	286761.94	6232008.55	54
6629-1495	66	16/03/1994	OPR	4/10/1995	3.61	304.83	2375	4260	7.3	2.25	286801.98	6233828.36	54
6629-1281	12	16/01/1983	OPR		3.8	300.79	2376	4262	7.5	5	286675.88	6233151.39	54
6629-1308	14	23/05/1985					2388	4283	7.8	0.63	286434.92	6232468.35	54
6629-1213	15.24	19/02/1968			12.8	317.28	2415	4332	6.5		285658.88	6232164.35	54
6629-1216							2485	4456			286091.86	6231567.38	54
6629-1496	24	17/03/1994	OPR	4/10/1995	3.61	303.9	2528	4530	6.9	2.25	286712	6233778.28	54
6629-1208							2599	4657			286566.86	6233265.33	54
6629-1209							2756	4932			286591.85	6232580.33	54
6629-1498	37	13/04/1994	ABD	13/04/1994			2795	5000	7.7	12.5	287076.84	6232088.35	54
6629-1734	83	4/10/1998			13.5	292.46	3001	5360		3.13	286636.99	6233793.34	54
6629-1528	22	21/04/1995	ABD	21/04/1995			3580	6370	7.6	1.25	286751.94	6233908.35	54
6629-1531	24.38		OPR	17/08/1995	0.56	311.14				2.15	285891.96	6234048.25	54
6629-1532	24.38		OPR	17/08/1995	1.29	309.88				3.16	285942.15	6234178.22	54
Notes:													
DRY- dry													
OPR- operational													
ABD- abandoned													
WaterConnect download: 1.5km radius of 6629-1212													

7 Site Inspection

A site inspection was undertaken on 30th May 2014 to observe the current site layout and to identify any signs of potentially contaminating activities and/or actual contamination. Site inspection plates are provided in Appendix F.

During the site inspection and discussions with landholder the following information was identified.

7.1 Lot 8

Section A

- The site is characterised by broad acre farming and grazing practices (Plate 1);
- The north east corner lined with native and non native vegetation and adjacent residential allotments of Auburn (Plate 2), and
- Typical residential development along the north boundary (Plate 3).

Section B

- A series of sheds (Plate 4);
- Areas of stockpiling within the sheds which included disused tyres, recreational equipment, petrol drums, scrap metal, wood and engine parts (Plate 5);
- Disused and bordered chicken sheds (domestic scale) currently used for the storage of farming equipment and machinery (Plate 6);
- Evidence of rainwater tanks (Plate 7);
- Evidence of livestock (sheep) as well as stockpiles of feed (Plate 8);
- Poultry shed (domestic scale) currently in use (Plate 9), and
- Typical farm house (Plate 10).

Section C

- Fenced area with a number of native and non-native vegetation located in this portion of land (Plate 11).

7.2 Lot 58

Section A

- This site has previously been used for farming of sheep and cattle (anecdotal information from the landholder);
- Grazing paddocks for cattle (Plate 1);
- Stockpiling of disused petrol drums which have been relocated to the site for the planting of eucalypt gums along the fence alignment within the paddocks (anecdotal information from landholder) (Plate 2);
- Stockpiling of old fence wiring/posts and disused trailer (Plate 3);

- Native and non native vegetation along the boundaries of area of investigation (Plate 4);
- Stockpiling of sandstone and a cattle pen(s) in the background (Plate 5);
- Evidence of livestock (cattle) on property (Plate 6), and
- Hay and car shed located in the south west corner (Plate 7).

Section B

- The only pesticide which has been used is “round up” on the vineyard. No spraying of pesticides and herbicides given the vicinity to residential areas (anecdotal information from the landholder);
- Small vineyards adjacent to the northern boundary (with disused posting machine in foreground) (Plate 8), and
- Evidence of stockpiling of pruning’s and untreated timber (Plate 9).

Section C

- New residential development emerging along the southern boundary (Plate 10), and
- Portion of this area infested with onion grass and perennial weeds (Plate 11).

8 Discussion and Recommendations

The allotments were divided into Section A, B and C for descriptive purposes, given the evidence that was collated as part of the site inspection. The sites are characterised by broad acre farming and given the limited changes between the 1979 and 2008 aerial photographs it is likely that the dominating land use has been for farming practices only. Due to the preliminary nature of this investigation no soil and/or groundwater samples were collected for laboratory analysis.

The SHA identified the following potentially contaminating activities on both allotments;

- Pesticide and/or herbicide use;
- Grazing practices;
- Dwellings, shedding and storage (under floor treatment, under slab fill and lay down areas, potential temporary storage of fuel (ASTs), oil and pesticides/herbicides); and
- Localised vehicle/machinery and private vehicles storage and use (tractors/ trucks, utes/vans etc.).

The potential issues are described further in Table 8-1 and Table 8-2.

In addition to the above the following comments are made in relation to potential contamination from nearby off-site activities:

Allotment 8

A property located on the northern side of South St was observed to have stockpiles of disused farming machinery and cars, but this is unlikely to be of significance given that it is contained within a small area and is separated by a road corridor (South St) from Allotment 8.

Allotment 58

There is an adjacent vineyard along the southern boundary and residential development. However these are unlikely to be of significance given that the vineyard is no longer in use (anecdotal information from landholder). The residential allotments predominantly demonstrated no evidence of dead and dying vegetation and storage was usually under shelter with unlined lay down areas which would indicate contamination, if any, would be localised.

There is a railway corridor which runs in a north-south direction along the eastern side of the township. This is not considered significant in terms of allotments 8 and 58 given the distance from site.

This Preliminary Site history Assessment has been undertaken to support the rezoning of allotments 8 and 58 from Primary Production to proposed urban development purposes. Given the potential contamination issues identified by this SHA, further consultation with the EPA should be sought to determine the scope and extent of a Stage 2 sampling and analysis program, if required.

Targetted sampling may be required in identified areas of machinery storage, dumping and rubbish storage which are in the vicinity of the farm dwellings and sheds on allotment 8. Lower density broad-scale sampling may be sufficient on the farmed areas which constitutes the majority of the sites.

TABLE 8-1: ALLOTMENT 8 - SUMMARY OF POTENTIAL ISSUES

Issue	Potential contaminants	Contamination Likelihood	Comments/Description
Soil			
Agriculture	Fertilizers, herbicides and Organochlorine and Organophosphate pesticides (OC/OPs)	Unlikely	Strong weed growth was evident in the north west portion of Allotment 8 in and around the buildings and residential property. Broadacre farming and grazing was identified for the western portion of the site. Storage of any chemicals considered low due to evidence of storage and shedding.
Machinery storage (leaks/staining)	TPH/BTEX, VOCs, and heavy metals	Possible	Moderate to large volumes of machinery which is dominated by motorised and non motorised equipment in storage scattered around the shedding and farm house located in the north east portion of the site.
Vehicle access	TPH/BTEX, VOC's and heavy metals	Unlikely	Limited access tracks across the property.
Dumping and/or rubbish storage	Broad range including TPH, BTEX, PAHs, heavy metals, asbestos and OC/OP's	Possible	Localised contamination associated with the stockpiling of tyres, scrap metal, petrol drums, metal beams/pipes and wood.
Incineration areas	Polycyclic aromatic hydrocarbons (PAH's), metals, solvents	Unlikely	No evidence of point source incineration.
Buildings	Arsenic based termiticides (As and OC/OP's)	Possible	Large areas of unlined and lined laydowns areas for storage of farming equipment, chemicals and recreational equipment such as boats.
Sheds	Arsenic based termiticides (As and OC/OP's)	Possible	There is evidence of shedding (ranging from moderate -large amounts) particularly around the farm house. The flooring ranged from sandy loam cover to cement pads. No stains evident.

Note: Groundwater contamination may be possible in areas of potential soil contamination, for example in areas of stockpiling which includes machinery, rubbish, scrapped metal and disused petrol drums.

TABLE 8-2: ALLOTMENT 58 - SUMMARY OF POTENTIAL ISSUES

Issue	Potential contaminants	Contamination Likelihood	Comments/Description
Soil			
Agriculture	Fertilizers, herbicides and Organochlorine and Organophosphate pesticides (OC/OPs)	Unlikely	Strong weed growth is evident across the grazing paddocks. Anecdotal information from landholder informed that no pesticides and/or herbicides have been used given its proximity to residential allotments.
Machinery storage (leaks/staining)	TPH/BTEX, VOCs, and heavy metals	Possible	Small volume of motorised equipment stored in hay shed located in the south west corner of the site.
Vehicle access	TPH/BTEX, VOC's and heavy metals	Unlikely	Limited access tracks across the property.
Dumping and/or rubbish storage	Broad range including TPH, BTEX, PAHs, heavy metals, asbestos and OC/OP's	Unlikely	Localised contamination associated with the stockpiling of petrol drums, prunings, untreated timber, fence wiring and disused fence posts.
Incineration areas	Polycyclic aromatic hydrocarbons (PAH's), metals, solvents	Unlikely	No evidence of point source incineration.
Sheds	Arsenic based termiticides (As and OC/OP's)	Possible	There is evidence of shed in south east corner of site. The flooring is a sandy loam.

The potential for groundwater contamination is considered unlikely given there is negligible amounts of stockpiling and shedding/storage areas, and no pesticides/herbicides have been applied on site (anecdotal information from landholder).

Given the SHA has been undertaken for the purposes of rezoning for residential purposes as part of the DPA, it would be recommended to undertake any further investigations at the development assessment stage. Suitable policies are contained within the Development Plan in the Hazards Module in relation to future site assessment at the development assessment stage.

9 References

Clare and Gilbert Valleys Council (2014). *Statement of Intent, Clare & Gilbert Valleys District Townships and Settlements Development Plan Amendment*. C&GV Council, February 2014.

NEPM (1999). *National Environment Protection (Assessment of Site Contamination) Measure 1999. Schedule B(2) – Guideline on Site Characterisation*.

Nature Maps - <http://www.naturemaps.sa.gov.au>

South Australian Department of Mines (1969). *1:250 000 Geological Map Series Adelaide Sheet*. Geological Survey of South Australia.

Water Connect Website- <https://www.waterconnect.sa.gov.au/Pages/Home.aspx>

Appendix A: Council Zoning Information

Primary Production Zone

Refer to the [Map Reference Tables](#) for a list of the maps that relate to this zone.

OBJECTIVES

- 1 Economically productive, efficient and environmentally sustainable primary production, including cropping, grazing, viticulture and intensive animal keeping.
- 2 Allotments of a size and configuration that promote the efficient use of land for primary production.
- 3 Protection of primary production from encroachment by incompatible land uses and protection of scenic qualities of rural landscapes.
- 4 Maintenance and enhancement of tourist facilities, scenic routes and attractions, and historic features, including Bungaree, Hill River homestead, Martindale Hall and Kadlunga homestead.
- 5 Preservation of the natural landscape as characterized by steep north south ridgelines, broad valley floors and undulating hills.
- 6 Development that contributes to the desired character of the zone.

DESIRED CHARACTER

The role of the zone is to accommodate cropping and grazing activities on large rural land holdings and viticulture on small to medium sized allotments. The rural area is predominantly characterized by rolling pastures with stands of remnant vegetation with a variety of agricultural activities. The zone is of significant asset to the district and comprises of some of the regions most productive rural land which is capable of supporting a wide range of agriculture. Accordingly, it is desirable that no further fragmentation of rural properties be limited and that smaller properties be consolidated into larger holdings. Efforts should be made to revegetate the landscape in many parts of the zone with trees using locally indigenous species.

The landscape of the Clare Valley contrasts greatly with the surrounding district. The steep sided valley with gently undulating floor is dominated by the Hutt River which meanders through the locality from south to north. The heavily vegetated ridges and hill tops provide an attractive rural setting for the town of Clare whilst the several small settlements located along the valley floor have historical significance in terms of the agricultural and viticultural development of the district. North of the town of Clare the valley opens out to broad fertile plain and undulating hillsides. The Skilly Hills to the west of the Clare Valley are of particular scenic importance, containing extensive stands of dense native vegetation, interspersed with vineyards and wineries. The Spring Gully Conservation Park contains extensive areas of native vegetation including a rare stand of Stringy Red Bark. In marked contrast the landscape to the east of the Clare valley is open, sparsely vegetated, grazing land. Many of the old homesteads, small settlements and churches reflect the historical development of the district. In particular the small settlement of Mintaro, established to service the Burra to Port Wakefield bullock trail and the slate quarry, has retained much of its nineteenth century character. Other historic landmarks include Bungaree, Hill River Station, Martindale Hall, and Sevenhill.

The character of the rural area of the Gilbert Valley is derived from the large broadacre farming holdings for cereal crops, grazing and livestock. Significant pockets of native vegetation still remain throughout the district and along road reserves. The southern area of the Council lies almost wholly within the fertile Gilbert Valley, characterized by the Gilbert River which meets the Light River.

Where the two valleys meet the land is used for agricultural production and the grazing of stock on relatively large land holdings. The pattern of occupation with homesteads, ancillary buildings, and paddocks enclosing crops and livestock dominate the environment and firmly establish an open, rural appearance. Viticultural activity is concentrated along the Wakefield River and Eyre Creek. The headwaters of the Light River are

also located in the district. The climate, soil and landform characteristics of this zone favour the continuance of agricultural production and livestock grazing and it is desirable not only that these activities continue, but also that good land management techniques be continued to control proclaimed pest plants, vermin and soil erosion. Little intensification of the present extent of settlement is warranted. In many ways, a proliferation of intensive development and occupation of the zone would threaten its proper function and render the rural landscape susceptible to competing demands and undesirable change. To maintain the agricultural importance and stability of the zone, it is vital that the size of the land holdings is not significantly reduced, or densities increased, and that future pressures for development in the zone will not result in the conversion of agricultural land to less productive uses.

PRINCIPLES OF DEVELOPMENT CONTROL

Land Use

- 1 The following forms of development are envisaged in the zone:
 - bulk handling and storage facility
 - commercial forestry
 - dairy farming
 - farming
 - horticulture
 - intensive animal keeping
 - tourist accommodation (including through the diversification of existing farming activities and conversion of farm buildings).
- 2 Development listed as non-complying is generally inappropriate and not acceptable unless it can be demonstrated that it does not undermine the objectives and principles of the Development Plan.
- 3 Industry and warehousing should only be developed if it supports primary production, processing, storage and distribution of local primary produce or products produced on the same site, and should be developed where:
 - (a) it has a direct relationship with primary production
 - (b) it is unlikely to limit or inhibit the use of adjoining land for primary production
 - (c) the particular use requires a site in proximity to a particular natural resource or other product or materials sourced from the locality
 - (d) it will not result in the alienation of land or water resources identified as significant for primary production or ecological reasons
 - (e) the use would be inappropriate within a township
- 4 A shop should be:
 - (a) ancillary to primary production or processing uses, or tourist accommodation or other tourist development
 - (b) located on the same site as the primary use.
- 5 Buildings should primarily be limited to farm buildings, a detached dwelling associated with primary production or a tourist-related use on the allotment and residential outbuildings that are:
 - (a) grouped together on the allotment and set back from allotment boundaries to minimise the visual impact of buildings on the landscape as viewed from public roads

- (b) screened from public roads and adjacent land by existing vegetation or landscaped buffers.
- 6 Tourist accommodation should not be converted to dwellings and should be designed to preclude the conversion of buildings into dwellings such as through shared facilities, common utility services, grouped accommodation and/or shared parking.
- 7 A dwelling should only be developed if:
 - (a) there is a demonstrated connection with farming or other primary production
 - (b) the location of the dwelling will not inhibit the continuation of farming, other primary production or other development that is in keeping with the provisions of the zone
 - (c) it is located more than 500 metres from an existing intensive animal keeping operation unless used in association with that activity
 - (d) it does not result in more than one dwelling per allotment.

Form and Character

- 8 Development should not be undertaken unless it is consistent with the desired character for the zone.
- 9 Development should not occur within 500 metres of a National Park, Conservation Park, Wilderness Protection Area or significant stands of native vegetation if it will increase the potential for, or result in, the spread of pest plants.
- 10 Development which would remove productive land from agriculture, or diminish its overall productivity for primary production should not be undertaken, unless the land is required for essential public purposes or the processing of organic waste.

Heritage

- 11 Development surrounding Mintaro State Heritage Area should be designed and sited so as to minimise the impact of development on the heritage significance of Mintaro.

Land Division

- 12 For land not within a policy area, land division, including boundary realignments, should only occur where it will promote economically productive, efficient and sustainable primary production and not create any allotment less than 40 hectares in area.
- 13 Land division involving boundary realignments should only occur where the number of resulting allotments of less than 40 hectares is not greater than the number that existed prior to the realignment.
- 14 Land should not be divided except where a separate allotment is created of between one and five hectares in area to contain a habitable dwelling erected before 1 December 1972 where the balance allotment is in excess of 40 hectares.
- 15 Dwellings should be situated at least 50.0 metres from any site boundary within the zone to establish a visual buffer between development.

Rural Living Zone

Refer to the [Map Reference Tables](#) for a list of the maps that relate to this zone.

OBJECTIVES

- 1 A zone consisting of large allotments, detached dwellings and rural activities that do not adversely impact the amenity of the locality.
- 2 Rationalization of the existing subdivision layout to achieve orderly, efficient and co-ordinated development.
- 3 Development that contributes to the desired character of the zone.

DESIRED CHARACTER

The semi-rural character of the zone should be reinforced and strengthened through the design and siting of buildings and homesteads, open style fencing and appropriate landscaping to compliment undulating landform.

Armagh, Spring Farm and Donnybrook cater for rural living development on various allotment sizes. The zone provisions recognise existing development whilst providing opportunity for minor infill development.

At Auburn the zone comprises of small parcels under general farming use, and is separated from broadacre farming. With existing homesteads in the area, the land lends itself to rural living purposes

At Saddleworth the zone comprises small parcels under general farming use, and is separated from broadacre farming by a railway corridor, public roads and a thick belt of mature native trees. With existing homesteads in the area, the land lends itself well for rural living purposes. Until such time that the land is required for rural living, it will continue to be used for general farming.

PRINCIPLES OF DEVELOPMENT CONTROL

Land Use

- 1 The following forms of development are envisaged in the zone:
 - detached dwelling
 - domestic outbuilding in association with a detached dwelling
 - domestic structure
 - dwelling addition
 - farming
 - farm building
 - stable.
- 2 Development listed as non-complying is generally inappropriate and not acceptable unless it can be demonstrated that it does not undermine the objectives and principles of the Development Plan.
- 3 There should be no more than one dwelling per allotment.
- 4 Development should not result in the construction of excessive lengths of access roads or four way intersections.

- 5 The keeping of animals should be ancillary to and in association with the residential use of the land.
- 6 The keeping of horses should only be undertaken if the horses are accommodated within a stable or shelter with supplementary feeding to maintain pasture cover.

Form and Character

- 7 Development should not be undertaken unless it is consistent with the desired character for the zone.
- 8 Dwellings should be designed within the following parameters:

Parameter	Value
Minimum setback from primary road frontage	30 metres
Minimum setback from secondary road frontage	15 metres
Minimum setback from side boundaries	5 metres
Minimum setback from rear boundary	5 metres
Maximum site coverage	5 per cent
Maximum building height (from natural ground level)	5 metres

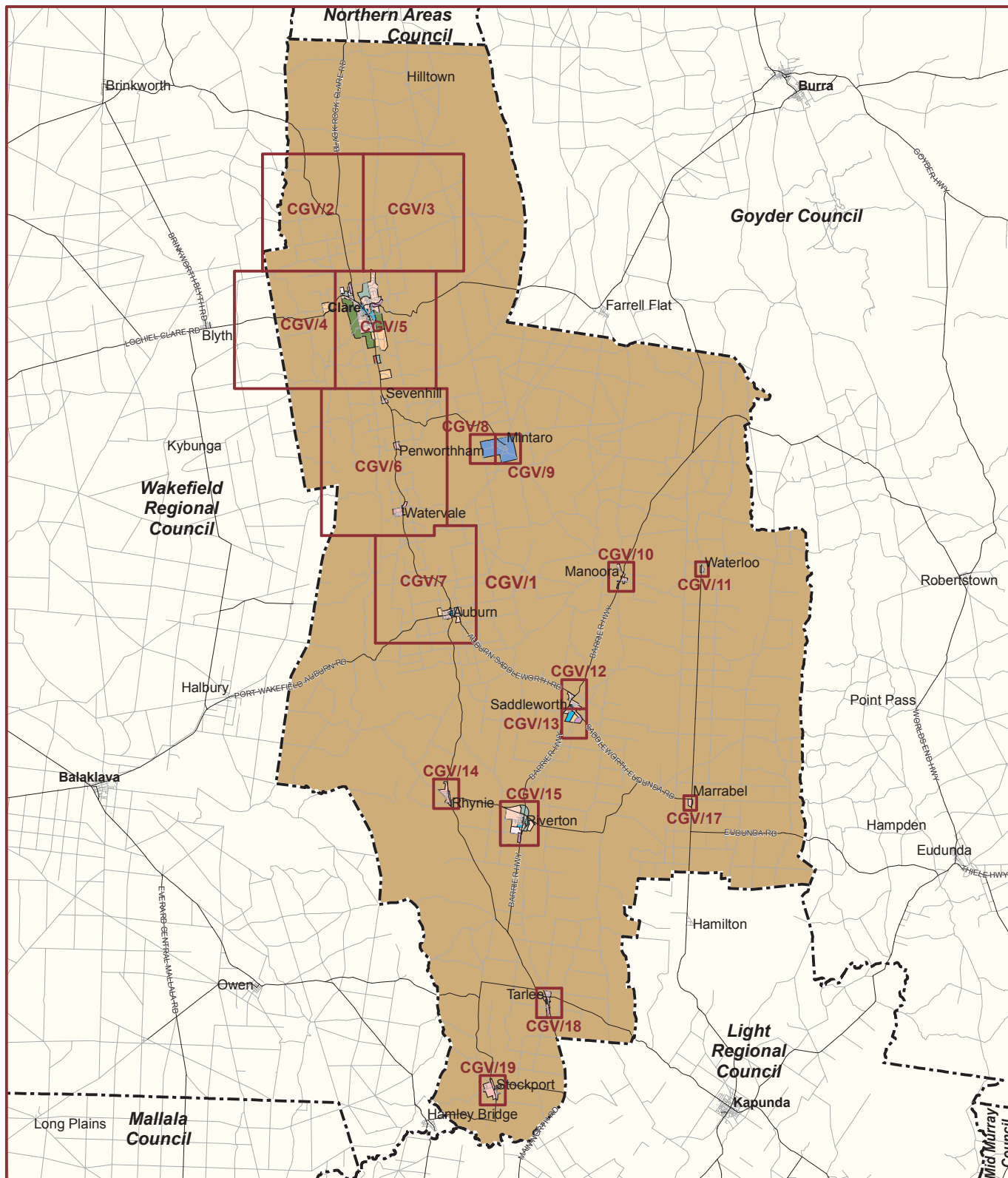
- 9 Sheds, garages and similar outbuildings should be designed within the following parameters:

Parameter	Value
Maximum floor area	72 square metres
Maximum building height (from natural ground level)	3.6 metres
Maximum wall height (from natural ground level)	3 metres
Minimum setback from side and rear boundaries	5 metres
Minimum setback from a public road or public open space area	30 metres

- 10 A dwelling should have an allotment area of at least 1.5 hectares and a frontage to a public road not less than 25 metres.
- 11 Retail, commercial, or industrial development should not be undertaken.

Land Division

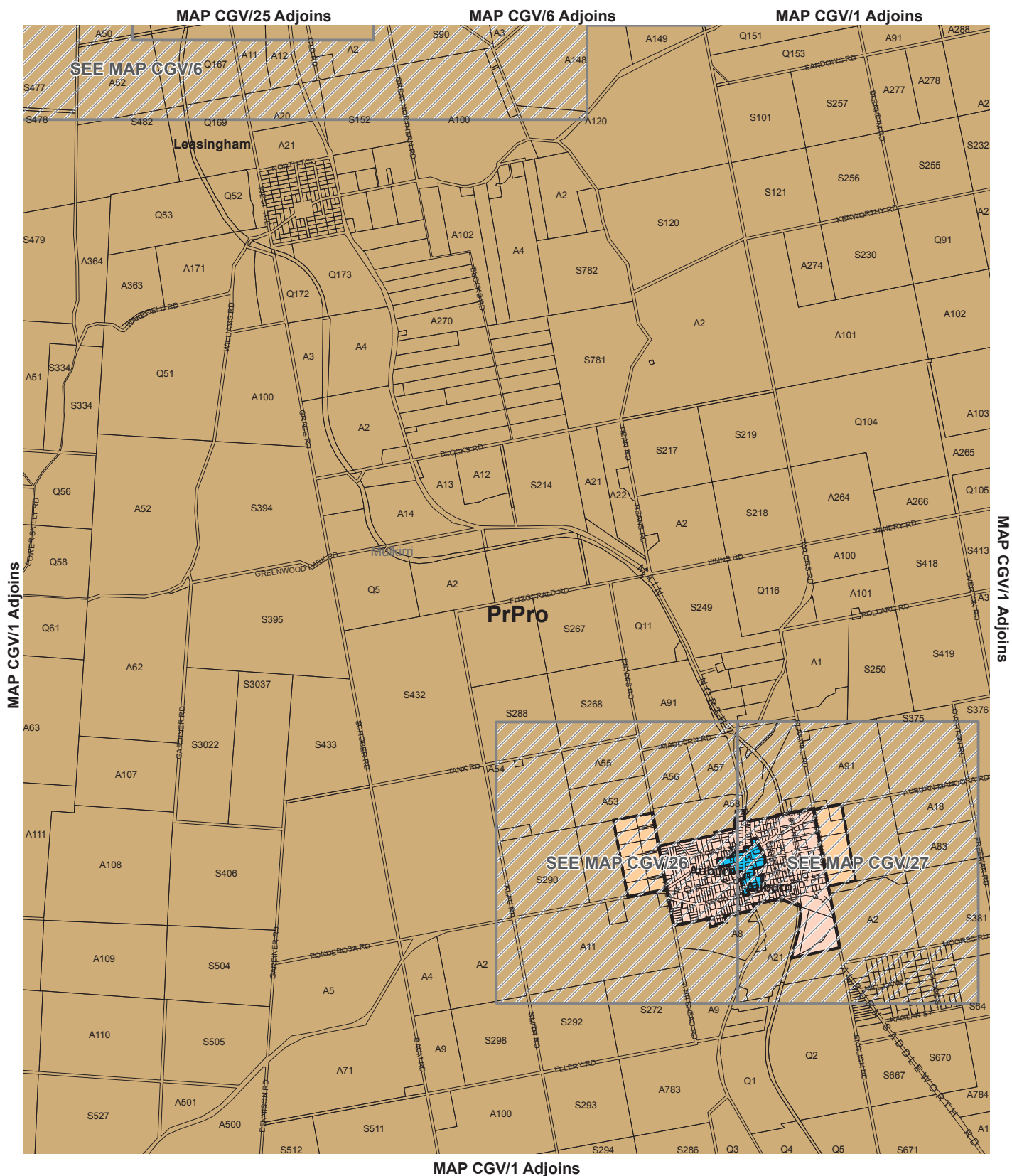
- 12 Land division should create allotments with an area of at least 1.5 hectares and a frontage to a public road not less than 25 metres.



For the purposes of the Development Plan unless otherwise clearly indicated, the zone/policy area/precinct boundaries depicted on or intended to be fixed by Maps CGV/1 to Map CGV/27 inclusive shall be read as conforming in all respects (as the case may require) to the land division boundaries, to the centre line of roads or drain reserves or to the title boundaries, or to imaginary straight lines joining the positions defined by survey or by the measurements shown on the said maps against which the said zone/policy area/precinct boundaries are shown or otherwise indicated.



Council Index Map



See enlargement map for accurate representation.
 Lamberts Conformal Conic Projection, GDA94



Zone Map CGV/7

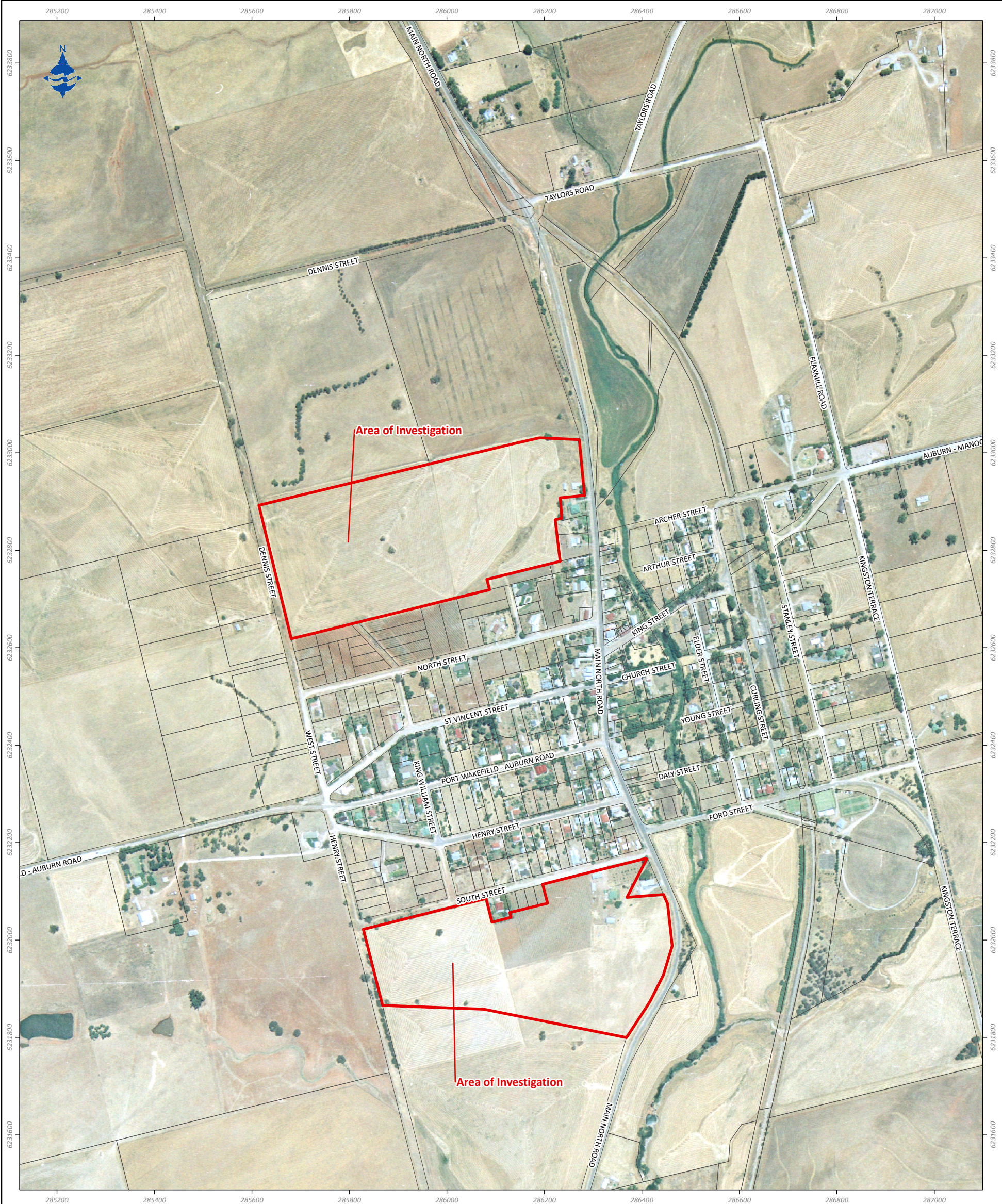
Zones

- PrPro Primary Production
- Zone Boundary

CLARE AND GILBERT VALLEYS COUNCIL

Consolidated - 23 September 2010

Appendix B: Aerial Photographs



LEGEND

- Cadastre
- Area of Investigation

Data Source:
 Aerial photography supplied by Mapland, Dept of Environment, Water and Natural Resources (DEWNR);
 Roadnames and Cadastre supplied by Clare & Gilbert Valleys Council; Area of Investigation supplied by Australian
 Water Environments (AWE).

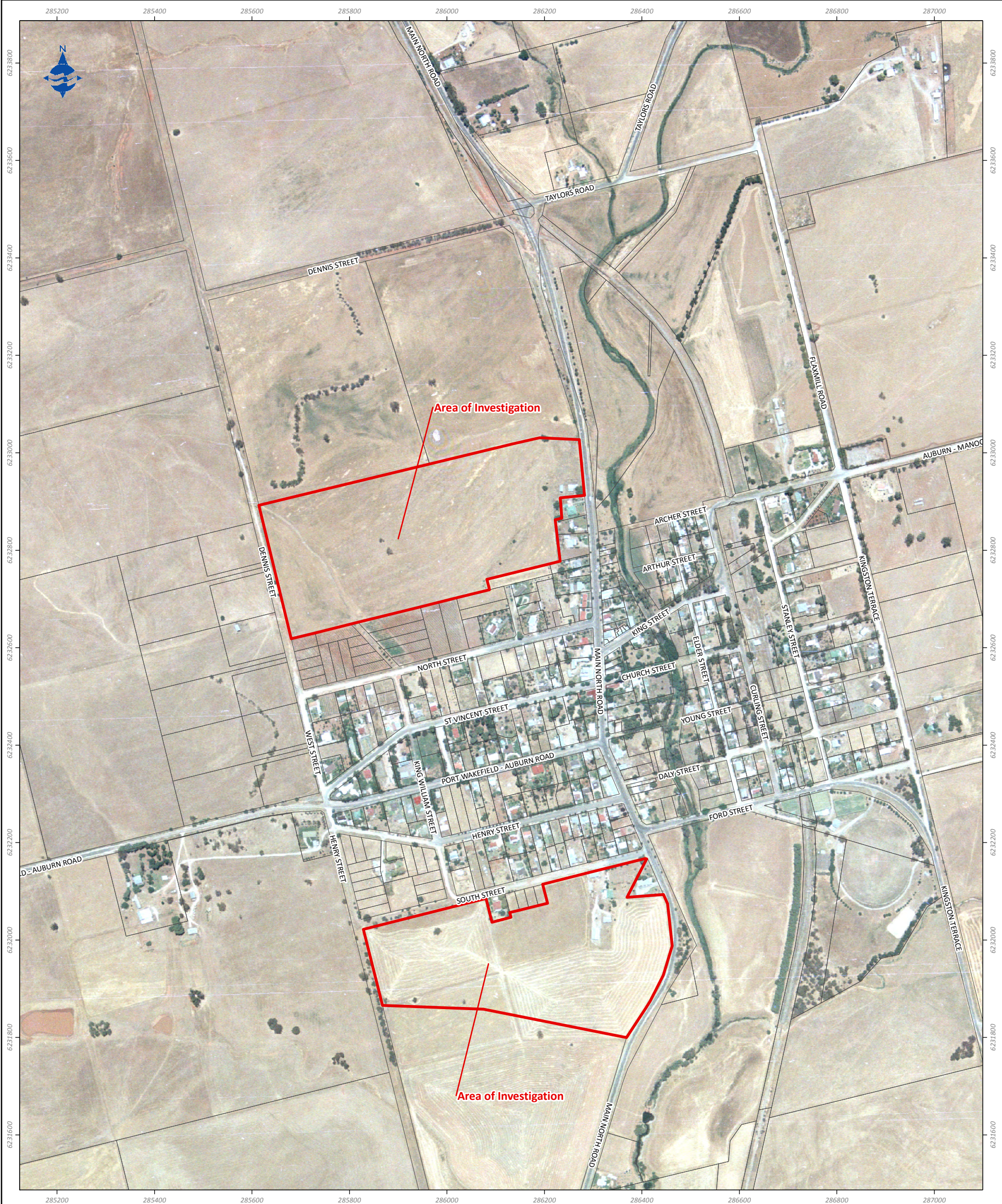
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 Metres (Scale 1:8,000 A3 Sheet)



Clare and Gilbert Valley Site History Assessment

Auburn

Aerial Photography 5/1/1979



LEGEND

- Cadastral
- Area of Investigation x

Data Source:
Aerial photography supplied by Mapland, Dept of Environment, Water and Natural Resources (DEWNR);
Roadnames and Cadastral supplied by Clare & Gilbert Valleys Council; Area of Investigation supplied by Australian
Water Environments (AWE).

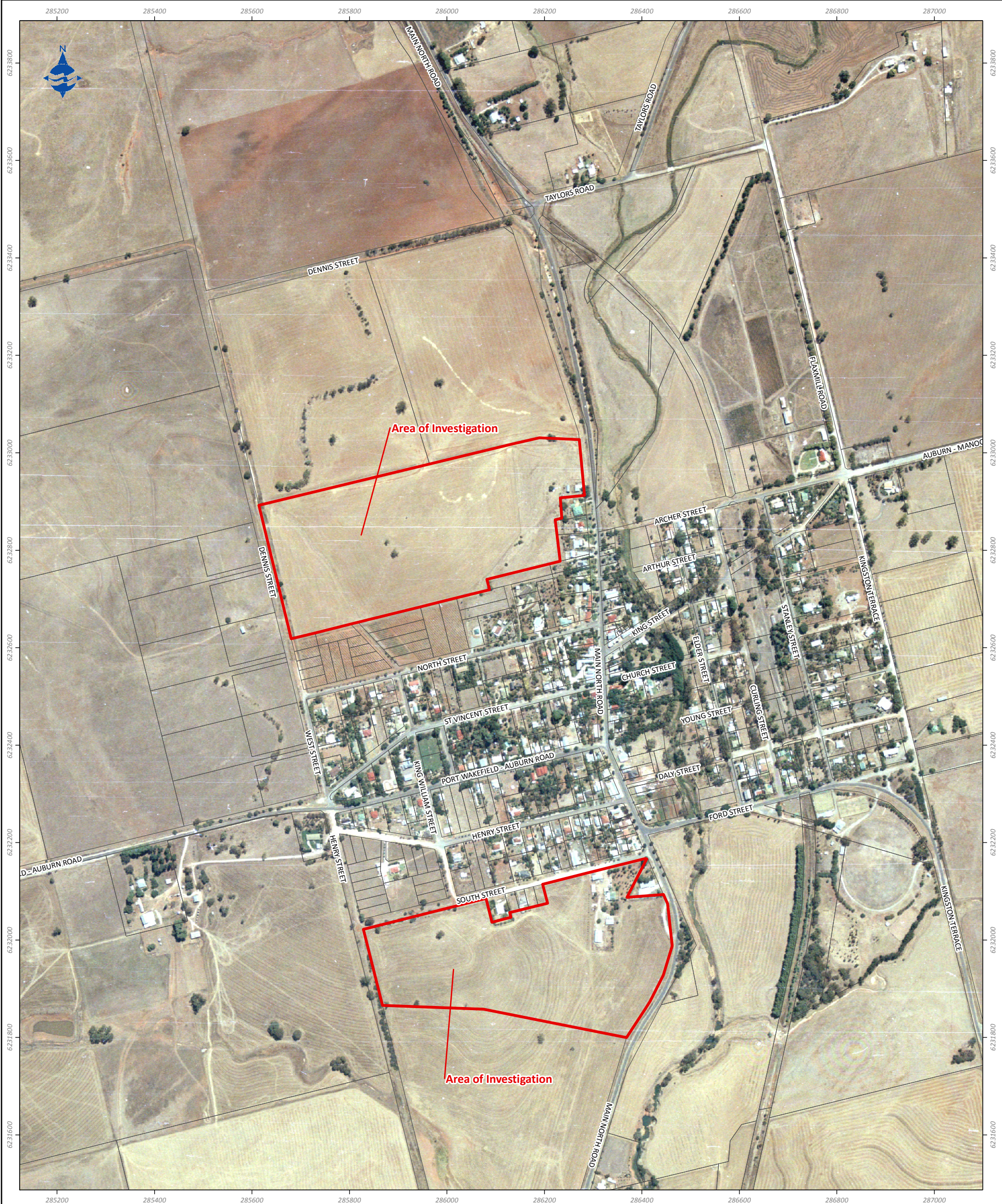
0 50 100 150 200 250 300
Metres (Scale 1:8,000 A3 Sheet)



Clare and Gilbert Valley Site History Assessment

Auburn

Aerial Photography 1/1/1987



LEGEND

- Cadastre
- Area of Investigation

Data Source:

Aerial photography supplied by Mapland, Dept of Environment, Water and Natural Resources (DEWNR); Roadnames and Cadastre supplied by Clare & Gilbert Valleys Council; Area of Investigation supplied by Australian Water Environments (AWE).

0 50 100 150 200 250 300
Metres (Scale 1:8,000 A3 Sheet)



Clare and Gilbert Valley Site History Assessment

Auburn

Aerial Photography 1/3/1994



LEGEND

- Cadastre
- Area of Investigation

Data Source:

Aerial photography supplied by Mapland, Dept of Environment, Water and Natural Resources (DEWNR); Roadnames and Cadastre supplied by Clare & Gilbert Valleys Council; Area of Investigation supplied by Australian Water Environments (AWE).

0 50 100 150 200 250 300
Metres (Scale 1:7,000 A3 Sheet)



Clare and Gilbert Valley Site History Assessment

Auburn

Aerial Photography 2/3/2008

Appendix C: EPA Section 7 Records



Australian Water Environments
Unit 1, 198 Greenhill Road
EASTWOOD SA 5063

Contact: Section 7
Telephone: (08) 8204 2179
Telephone: (08) 8204 2962
Email: epasection7@epa.sa.gov.au

Contact: Public Register
Telephone: (08) 8204 9128

22 May, 2014

Dear Sir/Madam,

Section 7 - Land and Business (Sale and Conveyancing) Act 1994

I refer to your enquiry concerning the parcel of land comprised in

Title Reference CT Volume 5354 Folio 596
Address Allotment 58, Government Road, AUBURN SA 5451

I advise as follows:

**PARTICULARS OF MORTGAGES, CHARGES PRESCRIBED ENCUMBRANCES
AFFECTING THE LAND**

- | | | |
|-------|--|----|
| 9.1 | Environment performance agreement under section 59 of the <i>Environment Protection Act 1993</i> that is registered in relation to the land. | NO |
| 9.2.1 | Environment protection order issued under section 93 of the <i>Environment Protection Act 1993</i> that is registered in relation to the land. | NO |
| 9.2.2 | Section 93A - Environment protection order relating to cessation of activity that is registered in relation to the land. | NO |
| 9.3 | Clean-up order issued under section 99 of the <i>Environment Protection Act 1993</i> that is registered in relation to the land. | NO |
| 9.4 | Clean-up authorisation issued under section 100 of the <i>Environment Protection Act 1993</i> that is registered in relation to the land. | NO |

9.5.1	Section 103H - Site contamination assessment order that is registered in relation to the land.	NO
9.5.2	Section 103J - Site remediation order that is registered in relation to the land.	NO
9.5.3	Section 103N - Notice of declaration of special management area in relation to the land (due to possible existence of site contamination).	NO
9.5.4	Section 103P - Notation of site contamination audit report in relation to the land.	NO
9.5.5	Section 103S - Notice of prohibition or restriction on taking water affected by site contamination in relation to the land.	NO

PARTICULARS RELATING TO ENVIRONMENT PROTECTION

Section 7 - Land and Business (Sale and Conveyancing) Act 1994

3) Licences and exemptions recorded by EPA in public register

Does the EPA hold any of the following details in the public register:

- | | | |
|----|--|----|
| a) | details of a current licence issued under Part 6 of the <i>Environment Protection Act 1993</i> to conduct, at the land- | |
| | i) | |
| | a waste or recycling depot (as referred to in clause 3(3) of Schedule 1 Part A of that Act); or | NO |
| | ii) | |
| | activities producing listed wastes (as referred to in clause 3(4) of Schedule 1 Part A of that Act)? | NO |
| | iii) | |
| | any other prescribed activity of environmental significance under Schedule 1 of that Act? | NO |
| b) | details of a licence no longer in force issued under Part 6 of the <i>Environment Protection Act 1993</i> to conduct, at the land- | |
| | i) | |
| | a waste or recycling depot (as referred to in clause 3(3) of Schedule 1 Part A of that Act); or | NO |
| | ii) | |
| | activities producing listed wastes (as referred to in clause 3(4) of Schedule 1 Part A of that Act)? | NO |



- | | |
|---|----|
| iii) any other prescribed activity of environmental significance under Schedule 1 of that Act? | NO |
| c) details of a current exemption issued under Part 6 of the Environmental Protection Act 1993 from the application of a specified provision of that Act in relation to an activity carried on at the land. | NO |
| d) details of an exemption that are no longer enforced, issued under Part 6 of the Environmental Protection Act 1993 from the application of a specified provision of that Act in relation to an activity carried on at the land. | NO |
| e) details of a licence issued under the repealed <i>South Australian Waste Management Commission Act 1979</i> to operate a waste depot at the land. | NO |
| f) details of a licence issued under the repealed <i>Waste Management Act 1987</i> to operate a waste depot at the land | NO |
| g) details of a licence issued under the repealed <i>South Australian Waste Management Commission Act 1979</i> to produce waste of a prescribed kind (within the meaning of that Act) at the land. | NO |
| h) details of a licence issued under the repealed <i>Waste Management Act 1987</i> to produce prescribed waste (within the meaning of that Act) at the land? | NO |

4) Pollution and site contamination on the land - details recorded by the EPA in public register

Does the EPA hold any of the following details in the public register in relation to the land or part of the land:

- | | |
|--|----|
| a) details of serious or material environmental harm caused or threatened in the course of an activity (whether or not notified under section 83 of the <i>Environment Protection Act 1993</i>)? | NO |
| b) details of site contamination notified to the EPA under section 83A of the <i>Environment Protection Act 1993</i> ? | NO |
| c) a copy of a report of an environmental assessment (whether prepared by the EPA or some other person or body and whether or not required under legislation) that forms part of the information required to be recorded in the public register? | NO |
| d) a copy of a site contamination audit report? | NO |

- | | |
|---|----|
| e) details of an agreement for the exclusion or limitation of liability for site contamination to which section 103E of the <i>Environment Protection Act 1993</i> applies? | NO |
| f) details of an agreement entered into with the EPA relating to an approved voluntary site contamination assessment proposal under section 103I of the <i>Environment Protection Act 1993</i> ? | NO |
| g) details of an agreement entered into with the EPA relating to an approved voluntary site remediation proposal under section 103K of the <i>Environment Protection Act 1993</i> ? | NO |
| h) details of a notification under section 103Z(1) of the <i>Environment Protection Act 1993</i> relating to the commencement of a site contamination audit? | NO |
| i) details of a notification under section 103Z(2) of the <i>Environment Protection Act 1993</i> relating to the termination before completion of a site contamination audit? | NO |
| j) details of records, held by the former <i>South Australian Waste Management Commission</i> under the repealed <i>Waste Management Act 1987</i> , of waste (within the meaning of that Act) having been deposited on the land between 1 January 1983 and 30 April 1995? | NO |

5) Pollution and site contamination on the land - other details held by EPA

Does the EPA hold any of the following details in relation to the land or part of the land:

- | | |
|---|----|
| a) a copy of a report known as a "Health Commission Report" prepared by or on behalf of the <i>South Australian Health Commission</i> (under the repealed <i>South Australian Health Commission Act 1976</i>)? | NO |
| b) details (which may include a report of an environmental assessment) relevant to an agreement entered into with the EPA relating to an approved voluntary site contamination assessment proposal under section 103I of the <i>Environment Protection Act 1993</i> ? | NO |
| c) details (which may include a report of an environmental assessment) relevant to an agreement entered into with the EPA relating to an approved voluntary site remediation proposal under section 103K of the <i>Environment Protection Act 1993</i> ? | NO |
| d) a copy of a pre-1 July 2009 site audit report? | NO |
| e) details relating to the termination before completion of a pre-1 July 2009 site audit? | NO |



All care and diligence has been taken to access the above information from available records. Historical records provided to the EPA concerning matters arising prior to 1 May 1995 are limited and may not be accurate or complete and therefore the EPA cannot confirm the accuracy of the historical information provided.

A handwritten signature in black ink, consisting of a stylized 'R' followed by a horizontal line.

Delegate for
ENVIRONMENT PROTECTION AUTHORITY



Australian Water Environments
Unit 1, 198 Greenhill Road
EASTWOOD SA 5063

Contact: Section 7
Telephone: (08) 8204 2179
Telephone: (08) 8204 2962
Email: epasection7@epa.sa.gov.au

Contact: Public Register
Telephone: (08) 8204 9128

22 May, 2014

Dear Sir/Madam,

Section 7 - Land and Business (Sale and Conveyancing) Act 1994

I refer to your enquiry concerning the parcel of land comprised in

Title Reference CT Volume 5817 Folio 110
Address Allotment 8, Government Road, AUBURN SA 5451

I advise as follows:

**PARTICULARS OF MORTGAGES, CHARGES PRESCRIBED ENCUMBRANCES
AFFECTING THE LAND**

- | | | |
|-------|--|----|
| 9.1 | Environment performance agreement under section 59 of the <i>Environment Protection Act 1993</i> that is registered in relation to the land. | NO |
| 9.2.1 | Environment protection order issued under section 93 of the <i>Environment Protection Act 1993</i> that is registered in relation to the land. | NO |
| 9.2.2 | Section 93A - Environment protection order relating to cessation of activity that is registered in relation to the land. | NO |
| 9.3 | Clean-up order issued under section 99 of the <i>Environment Protection Act 1993</i> that is registered in relation to the land. | NO |
| 9.4 | Clean-up authorisation issued under section 100 of the <i>Environment Protection Act 1993</i> that is registered in relation to the land. | NO |

9.5.1	Section 103H - Site contamination assessment order that is registered in relation to the land.	NO
9.5.2	Section 103J - Site remediation order that is registered in relation to the land.	NO
9.5.3	Section 103N - Notice of declaration of special management area in relation to the land (due to possible existence of site contamination).	NO
9.5.4	Section 103P - Notation of site contamination audit report in relation to the land.	NO
9.5.5	Section 103S - Notice of prohibition or restriction on taking water affected by site contamination in relation to the land.	NO

PARTICULARS RELATING TO ENVIRONMENT PROTECTION

Section 7 - Land and Business (Sale and Conveyancing) Act 1994

3) Licences and exemptions recorded by EPA in public register

Does the EPA hold any of the following details in the public register:

- | | | |
|----|--|--|
| a) | details of a current licence issued under Part 6 of the <i>Environment Protection Act 1993</i> to conduct, at the land- | |
| | i) | a waste or recycling depot (as referred to in clause 3(3) of Schedule 1 Part A of that Act); or |
| | | NO |
| | ii) | activities producing listed wastes (as referred to in clause 3(4) of Schedule 1 Part A of that Act)? |
| | | NO |
| | iii) | any other prescribed activity of environmental significance under Schedule 1 of that Act? |
| | | NO |
| b) | details of a licence no longer in force issued under Part 6 of the <i>Environment Protection Act 1993</i> to conduct, at the land- | |
| | i) | a waste or recycling depot (as referred to in clause 3(3) of Schedule 1 Part A of that Act); or |
| | | NO |
| | ii) | activities producing listed wastes (as referred to in clause 3(4) of Schedule 1 Part A of that Act)? |
| | | NO |

- iii) any other prescribed activity of environmental significance under Schedule 1 of that Act? NO
- c) details of a current exemption issued under Part 6 of the Environmental Protection Act 1993 from the application of a specified provision of that Act in relation to an activity carried on at the land. NO
- d) details of an exemption that are no longer enforced, issued under Part 6 of the Environmental Protection Act 1993 from the application of a specified provision of that Act in relation to an activity carried on at the land. NO
- e) details of a licence issued under the repealed *South Australian Waste Management Commission Act 1979* to operate a waste depot at the land. NO
- f) details of a licence issued under the repealed *Waste Management Act 1987* to operate a waste depot at the land NO
- g) details of a licence issued under the repealed *South Australian Waste Management Commission Act 1979* to produce waste of a prescribed kind (within the meaning of that Act) at the land. NO
- h) details of a licence issued under the repealed *Waste Management Act 1987* to produce prescribed waste (within the meaning of that Act) at the land? NO

4) Pollution and site contamination on the land - details recorded by the EPA in public register

Does the EPA hold any of the following details in the public register in relation to the land or part of the land:

- a) details of serious or material environmental harm caused or threatened in the course of an activity (whether or not notified under section 83 of the *Environment Protection Act 1993*)? NO
- b) details of site contamination notified to the EPA under section 83A of the *Environment Protection Act 1993*? NO
- c) a copy of a report of an environmental assessment (whether prepared by the EPA or some other person or body and whether or not required under legislation) that forms part of the information required to be recorded in the public register? NO
- d) a copy of a site contamination audit report? NO

- | | |
|---|----|
| e) details of an agreement for the exclusion or limitation of liability for site contamination to which section 103E of the <i>Environment Protection Act 1993</i> applies? | NO |
| f) details of an agreement entered into with the EPA relating to an approved voluntary site contamination assessment proposal under section 103I of the <i>Environment Protection Act 1993</i> ? | NO |
| g) details of an agreement entered into with the EPA relating to an approved voluntary site remediation proposal under section 103K of the <i>Environment Protection Act 1993</i> ? | NO |
| h) details of a notification under section 103Z(1) of the <i>Environment Protection Act 1993</i> relating to the commencement of a site contamination audit? | NO |
| i) details of a notification under section 103Z(2) of the <i>Environment Protection Act 1993</i> relating to the termination before completion of a site contamination audit? | NO |
| j) details of records, held by the former <i>South Australian Waste Management Commission</i> under the repealed <i>Waste Management Act 1987</i> , of waste (within the meaning of that Act) having been deposited on the land between 1 January 1983 and 30 April 1995? | NO |

5) Pollution and site contamination on the land - other details held by EPA

Does the EPA hold any of the following details in relation to the land or part of the land:

- | | |
|---|----|
| a) a copy of a report known as a "Health Commission Report" prepared by or on behalf of the <i>South Australian Health Commission</i> (under the repealed <i>South Australian Health Commission Act 1976</i>)? | NO |
| b) details (which may include a report of an environmental assessment) relevant to an agreement entered into with the EPA relating to an approved voluntary site contamination assessment proposal under section 103I of the <i>Environment Protection Act 1993</i> ? | NO |
| c) details (which may include a report of an environmental assessment) relevant to an agreement entered into with the EPA relating to an approved voluntary site remediation proposal under section 103K of the <i>Environment Protection Act 1993</i> ? | NO |
| d) a copy of a pre-1 July 2009 site audit report? | NO |
| e) details relating to the termination before completion of a pre-1 July 2009 site audit? | NO |



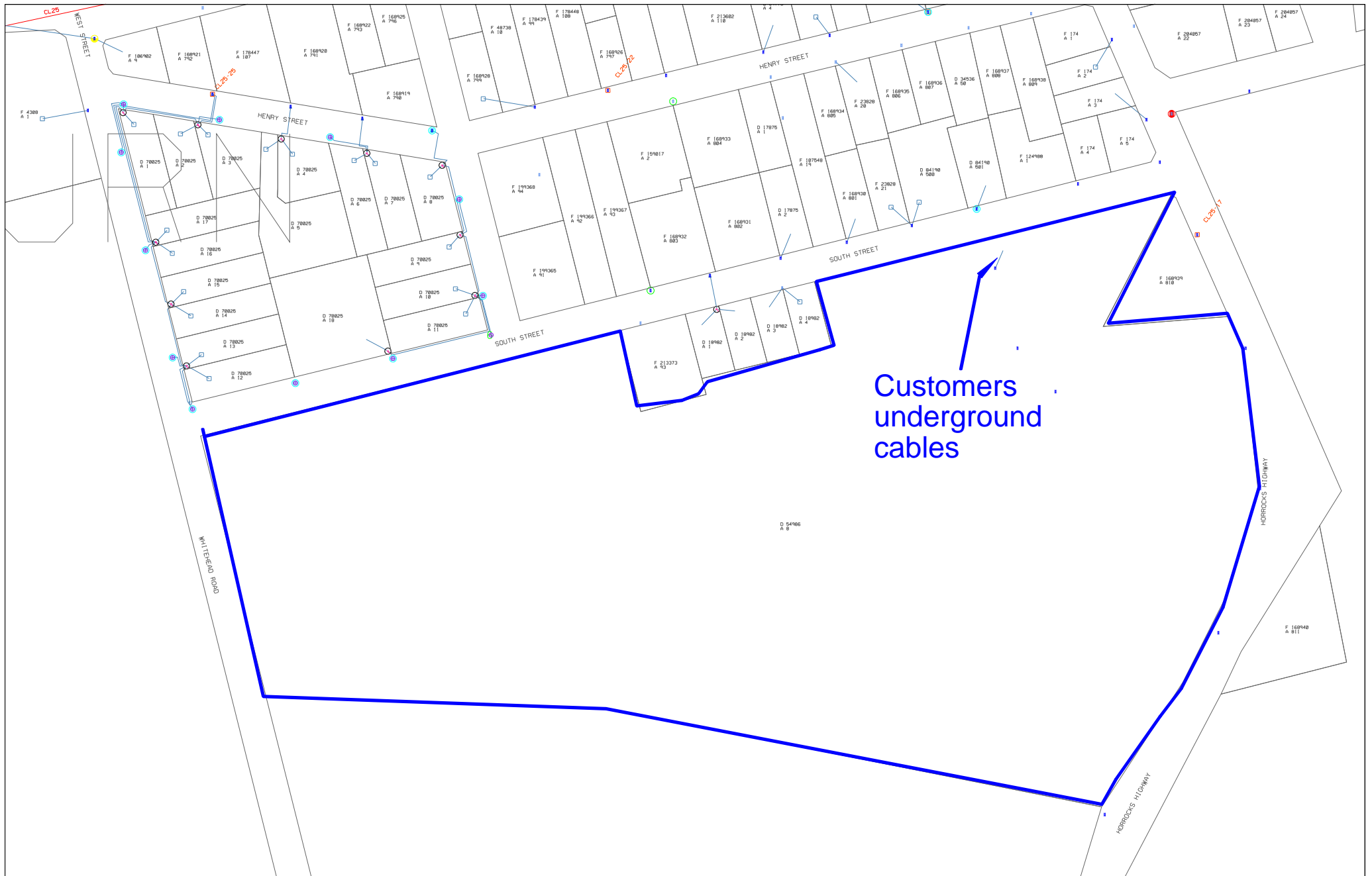
All care and diligence has been taken to access the above information from available records. Historical records provided to the EPA concerning matters arising prior to 1 May 1995 are limited and may not be accurate or complete and therefore the EPA cannot confirm the accuracy of the historical information provided.

A handwritten signature in black ink, consisting of a stylized 'R' followed by a horizontal line.

Delegate for
ENVIRONMENT PROTECTION AUTHORITY

Appendix D: Dial Before You Dig Plans

Lot 8: Dial Before You Dig Responses



Notes: North Street Auburn
SA Power Networks

Seq No:	34018780
Date:	5/16/2014
Enquiries:	1300 884 037
Fax:	08 7003 1117
Hours:	8:00am - 4:30pm
dialbeforeyoudig@sawater.com.au	

SOUTH AUSTRALIAN WATER CORPORATION

Dial Before You Dig Cover Sheet

To:	Australian Water Environments	Phone No:	0883788000
Attention:	Miss Felicity Ginnivan	Mobile No:	Not Supplied
Address:	Unit 1 198 Greenhill Road	Fax No:	0883578988
Suburb:	Eastwood 5063 SA		
Email:	felicityginnivan@austwaterenv.com.au		

Dial Before You Dig Request Details

Address:	North Street	Suburb:	Auburn
Side of Street:		Intersection:	
Distance:			
Activity Code:	14	Activity Description:	Horizontal Boring
Map Type:	Satopo	Map Ref:	6629G4
GPS X Coord:		GPS Y Coord:	
Private/Road/Both:	Private	Traffic Affected:	False
Notification No:	7422519		
Message:	Not Supplied		

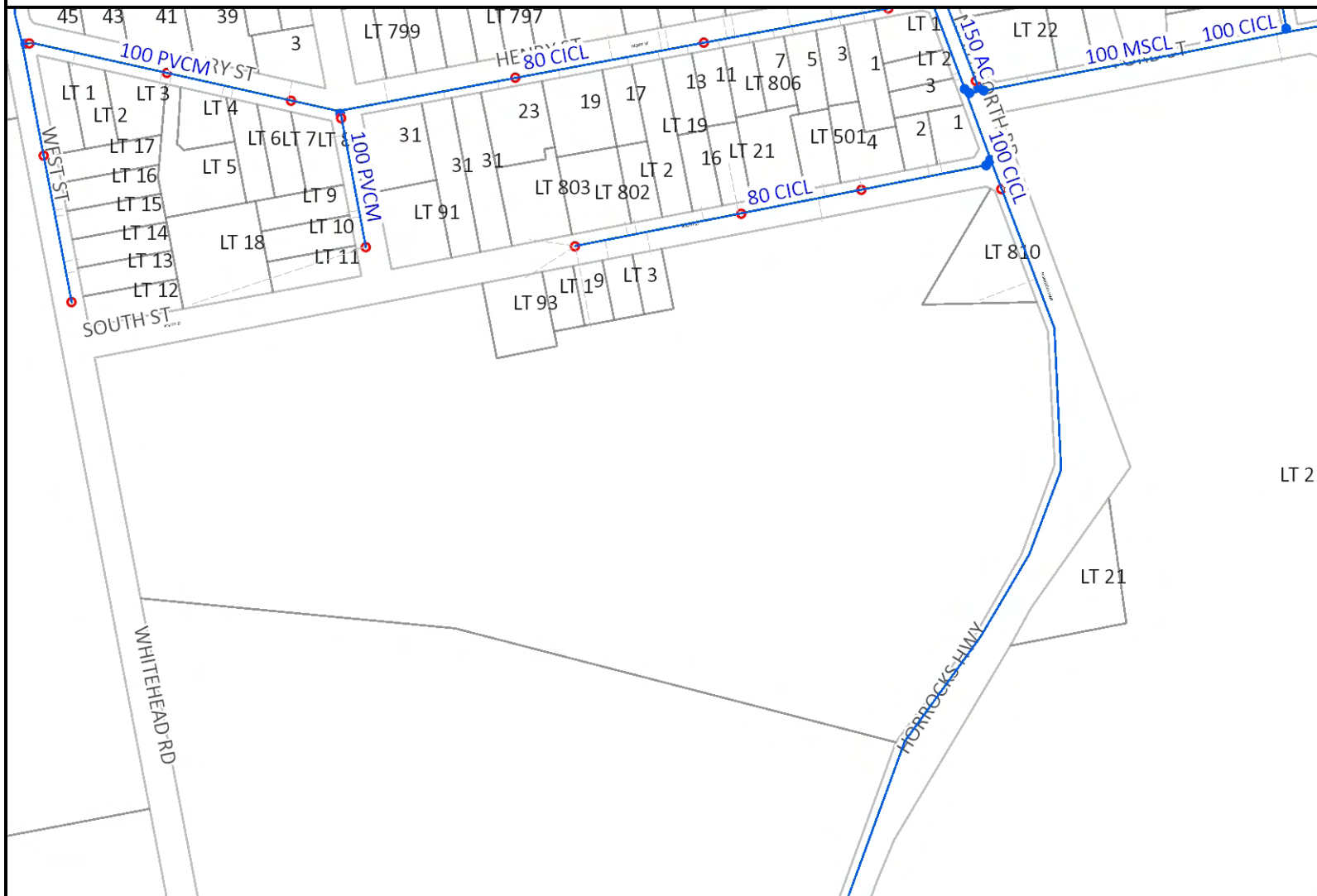
SA Water Comments

Please find attached your Dial Before You Dig map request results.

Number of Pages including this one:5

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The information contained in this message may be confidential and may also be subject of legal, professional or public interest immunity. If you are not the intended recipient any use, disclosure or copying of this document is unauthorised. If you have received this message in error, please contact the above named person.



Enquiries: 1300 650 950

Facsimile: (08) 7003 3329

DIAL.BEFORE.YOU.DIG@sawater.com.au

- ▲ CP Test Points
- CP Transformer Rectifiers
- ▲ CP Insulated Joints
- CP Anodes
- CP Anode Bed Outlines
- × CP Anode Beds
- CP Anode Cables
- CP Cathode Cables
- CP Electricity Supply Cables
- Water Main Labels
- Water Mains
 - Potable System
 - Non-Potable System
 - Non-Potable System (Raw Water)
 - Potability Not Allocated
 - Private Ownership
 - Water Mains Planning
- Water Connections
 - Other
 - Logical
- Water Hydrants
- Water Pillar Hydrants
- Water Valves
 - Locked
 - Not locked



Copyright SA Water 2013

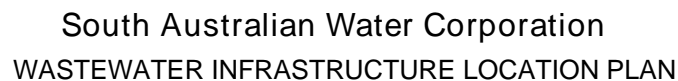
This advice an/or information is given for your private use only. The accuracy of the advice and information is not guaranteed and no responsibility is accepted by the crown or its officers for any loss or damage caused by reliance upon this advice and/or information as a result of any error, omission, misdirection or misstatement therein whether caused by negligence or otherwise.

south st
240351




















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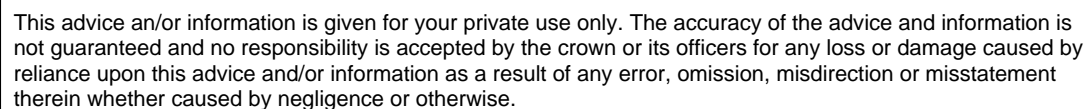
Scale 1:4,105.24

(@A4)



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-  CP Test Points
-  CP Transformer Rectifiers
-  CP Insulated Joints
-  CP Anodes
-  CP Anode Bed Outlines
-  CP Anode Beds
-  CP Anode Cables
-  CP Cathode Cables
-  CP Electricity Supply Cables
- Wastewater Gravity Labels
- Wastewater Pumping Labels
- Wastewater Low Pressure Labels
- Wastewater Vacuum Labels
-  Wastewater Gravity Mains
-  Wastewater Vacuum Mains
- Wastewater Pumping Mains
-  Standard
-  Sludge
-  Effluent Outfall
-  Wastewater Low Pressure
- Wastewater Connections
-  Wastewater Connections
-  Common Effluent
-  Wastewater Ancillary Pipes
-  Wastewater Mains Planning



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Report Generated: 16/5/2014 8:48 AM

Scale 1:4,105.24

(@A4)



Enquiries: 1300 650 950
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- ▲ CP Test Points
- CP Transformer Rectifiers
- ▲ CP Insulated Joints
- CP Anodes
- CP Anode Bed Outlines
- × CP Anode Beds
- CP Anode Cables
- CP Cathode Cables
- CP Electricity Supply Cables
- Recycled Water Main Labels
- Recycled Water Mains
- In Service Mains
- Abandoned
- Abandoned and Replaced
- Recycled Water Connections
- Gazetted
- Abandoned
- Recycled Water Mains Planning
- Recycled Water Valves
- River Murray
- Inland Water
- SA Water Regions
- Land Parcels
- House Numbers
- Street Labels



Enquiries: 1300 650 950
Facsimile: (08) 7003 3329
DIAL.BEFORE.YOU.DIG@sawater.com.au

- ▲ CP Test Points
- CP Transformer Rectifiers
- ▲ CP Insulated Joints
- CP Anodes
- CP Anode Bed Outlines
- × CP Anode Beds
- CP Anode Cables
- CP Cathode Cables
- CP Electricity Supply Cables
- Salt Interception Main Labels
- Salt Interception Mains
- Salt Interception Valves
- Salt Interception Pumps
- ✕ Salt Interception Attachments
- Ⓜ Salt Interception Meters
- ⊙ Salt Interception Junctions
- ⊙ Salt Interception Production Bores
- ⊙ Salt Interception Observation Bores
- Salt Interception Consumer Elec. Main
- River Murray
- Inland Water
- SA Water Regions
- Land Parcels
- House Numbers
- Street Labels



EPIC ENERGY
DIAL BEFORE YOU DIG INQUIRY RESPONSE FORM

Epic Energy South Australia Pty Limited
ACN 068 599 815
26 High Street
PO Box 2450 Dry Creek SA 5094
Telephone (08) 8343 8100
Facsimile (08) 8349 6493
Web Site
www.epicenergy.com.au

Dial Before You Dig Inquiry Response

TO: Miss Felicity Ginnivan
ADDRESS: Unit 1 198 Greenhill Road
RESPONSE phone/letter : felicityginnivan@austwaterenv.com.au
FROM: Epic Energy
DATE: 15/05/2014
DBYD Sequence No. 34018779

I refer to the above Dial Before You Dig notification for your proposed works at:

ADDRESS: North Street
SUBURB: Auburn

For your Information **there is an Epic Energy operated high pressure gas transmission pipeline** in the general area of your proposed works.

NO WORKS ARE TO BE CARRIED OUT NEAR A GAS TRANSMISSION PIPELINE WITHOUT AN EPIC ENERGY REPRESENTATIVE ON SITE AND AN ACCURATE LOCATION OF THE PIPELINE IS PROVIDED BY EPIC ENERGY.

Damage to a gas transmission pipeline could result in:-

- possible explosion and fire;
- substantial repair and gas restoration liability damage costs.
- gas escaping at pressures of up to 7,000 kPa;
- loss of gas to thousands of customers;

Please contact Pipeline Awareness Officers, Nick Flint on (08) 83438147 or Peter Faunt on (08) 83438182 if any further information is required, and/or to arrange for Epic to identify the location of the pipeline for you. A minimum of 48 hours notice is required for location identifications to be booked.

Please note that this is **not** an approval to carry out work within Epic Energy's pipeline easement.

Detailed plans of the proposed construction work or activity to be carried out in the vicinity of the pipeline must be forwarded to Epic Energy for approval and to assess any impacts on the pipeline or easement prior to any work being carried out.

For the location of all other gas mains and services, you should contact the relevant utilities in the area.

The information contained in this response is only valid for **30 days** from the enquiry date. After 30 days you must submit a new Dial Before You Dig request, to validate the location information for the site listed.

Epic reserves all rights to recover all costs and expenses, for the loss or damage to its pipelines or other property including consequential losses as a result of work or activity at or near its pipelines.

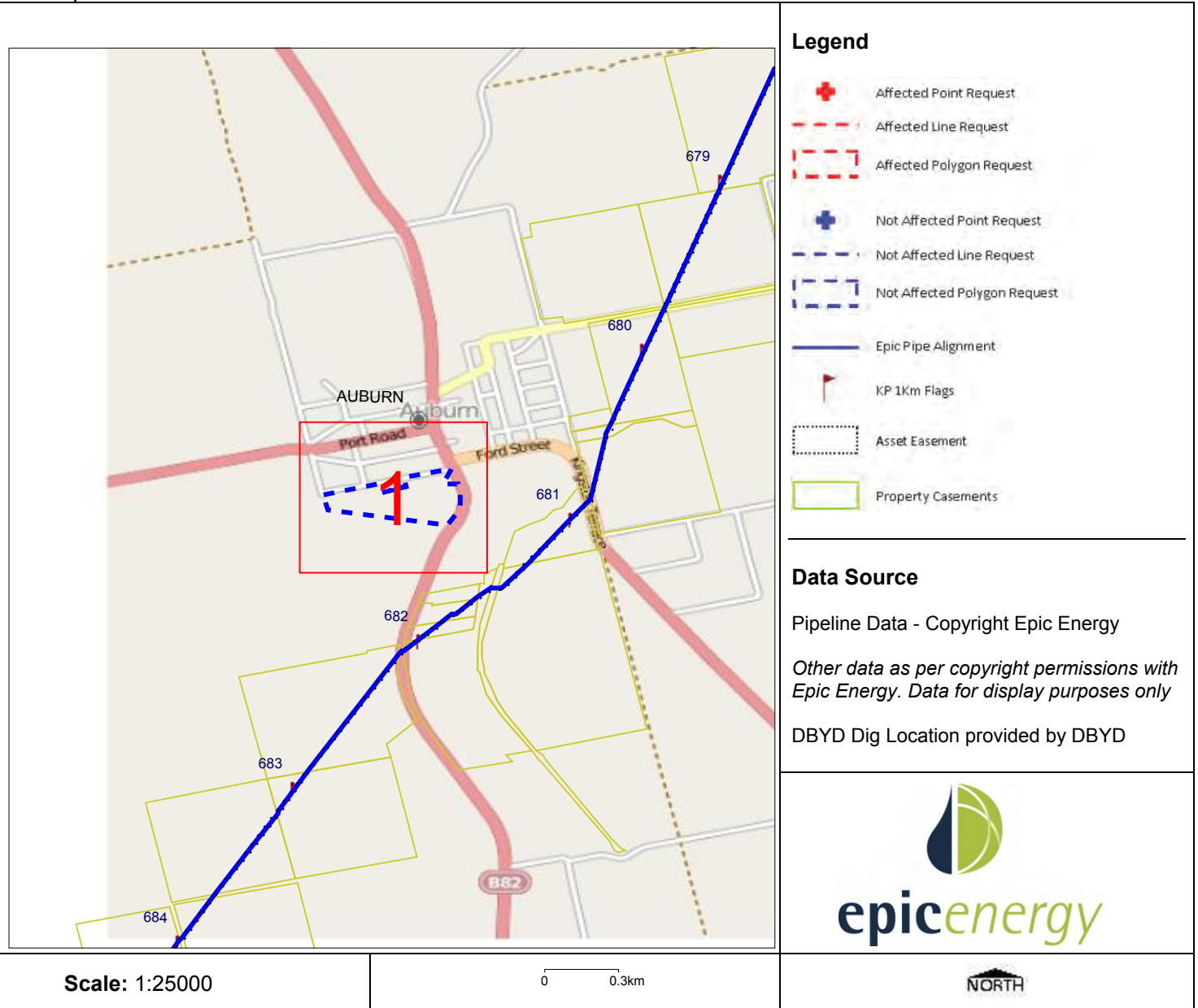
EPIC ENERGY
DIAL BEFORE YOU DIG INQUIRY RESPONSE FORM

DBYD Enquiry Number:	34018779	DBYD Enquiry Date:	15/05/2014
Location:	North Street Auburn		
Enquirer's Name:	Miss Felicity Ginnivan	Enquirer's Phone:	0883788000 / Not Supplied
Enquirer's Address:	Unit 1 198 Greenhill Road		
Response phone/letter :	felicityginnivan@austwaterenv.com.au		

Thank you for the notification of your interest or proposed works near the underground services at the above location. Epic Energy operates and maintains this high pressure gas infrastructure in the area of your interest, which is:

is not affected by your proposed works or your interest. (Horizontal Boring, 14)

The location of the high pressure gas infrastructure operated by Epic Energy in the area of your interest is indicated on the Map below:



Epic Energy does not guarantee the accuracy or completeness of the map and does not make any warranty about the data. Epic Energy is not under any liability to the user for any loss or damage (including consequential loss or damage) which the user may suffer resulting from the use of this map.

Thank you for your interest in maintaining a safe and secure gas pipeline network.


Epic Energy South Australia Pty Limited
26 High Street
PO Box 2450 Dry Creek SA 5094
Telephone (08) 8343 8100
Facsimile (08) 8349 6493
Web Site www.epicenergy.com.au

**EPIC ENERGY
DIAL BEFORE YOU DIG INQUIRY RESPONSE FORM**



34018779 Map Sheet: 1

Scale: 1: 4000

0 0.05km 

Map Key:

1

Legend

 Polygon Requests



Data Source
Pipeline Data - Copyright Epic Energy.
Other data as per copyright
permissions with Epic Energy.
Data for display purposes only
DBYD Dig Location provided by DBYD

Epic Energy does not guarantee the accuracy or completeness of the map and does not make any warranty about the data. Epic Energy is not under any liability to the user for any loss or damage (including consequential loss or damage) which the user may suffer resulting from the use of this map.

Standard Conditions Form



MINIMUM STANDARD CONDITIONS WHEN WORKING NEAR A HIGH PRESSURE GAS PIPELINE

1. All works within the pipeline easement must be approved and supervised by an Epic Energy representative.
2. Activities over the pipeline easement will require approval from Epic Energy and can only be performed under our Safe Systems of Work, which may require a job hazard analysis to be completed.
3. Once construction is complete, Epic will have the right to access the pipeline for any operation and maintenance work. Epic is only responsible to reinstate the area to the original condition.
4. An Epic field maintenance officer must locate and mark the high pressure gas pipeline to identify the depth of cover over the pipeline and to supervise and approve all works within the pipeline easement.
5. To adequately assess any possible impacts of the proposed works on the high pressure gas pipeline, Epic may request depth of cover data to be obtained at the cost of the applicant. If required, the depth of cover (i.e. depth from the ground surface to the top of pipeline) must be physically confirmed on site by a vacuum truck in the presence of an Epic representative.
6. Drawings and a work plan (including activities, duration and dates) must be prepared and submitted to Epic prior to the commencement of works. No work shall commence until the drawings and work plan are approved by Epic. At least five working days prior notice is to be provided to Epic for construction works and a schedule to be arranged by contacting the Epic Pipeline Awareness Officer on (08) 8343 8100.
7. The area over and in the vicinity of the pipeline must be excavated only by hand digging or in accordance with advice from the Epic maintenance officer on site. Epic's excavation procedure must be strictly followed for any proposed earth works. No depth of cover is to be permanently removed from the pipeline easement.
8. Epic must approve any engineering design configurations that cause other pipes to be closer than 600mm to its high pressure gas pipeline, including crossings under the pipeline and any future connections.
9. Horizontal boring and directional drilling is not permitted, unless approved by Epic and conducted under explicit on-site direction from an Epic representative.
10. Blasting is not permitted.
11. The separation distance between the Epic high pressure gas pipeline and any proposed pipe crossings must not be less than 300mm. However, the integrity of other pipes will be affected if the high pressure gas pipeline needs emergency repairs or maintenance. Therefore a 600mm separation is recommended. The type and design of the crossing, use of barriers and other technical details must be developed in consultation with Epic.
12. Any new crossings must be as close as possible to a right angle to the pipeline.
13. Existing crossings must be protected and pipeline depth of cover is to be maintained at all times during construction.

14. Epic has installed above ground test points and leak detection points along the pipelines. If as a result of the proposed works they need to be relocated, Epic approval must be obtained prior to the commencement of the proposed works.
15. If compacting is required:
 - only a light compactor or roller compactor may be utilised in the easement;
 - Epic must approve the type of compactor or roller used;
 - only water aided compacting methods are permitted for the area five metres either side of the easement;
 - Epic personnel must supervise the compacting/rolling process;
 - no vibrating machinery is to be used within ten metres either side of the easement;
 - only light machinery is to be used near the easement; and
 - stockpiling and parking of heavy equipment is not permitted on the easement.
16. Potential environmental effects must be assessed before conducting new activities and risks must be assessed by an independent expert and approved by Epic before starting a new activity or decommissioning a facility or site. The pipeline easement must be carefully restored after completion of the works so that it is consistent with the surrounding environment.
17. All practical measures must be taken to prevent environmental harm or damage. Contingency procedures must be developed and maintained in order to minimise any impacts if an incident occurs. Any environmental incidents (including follow up actions) must be reported in writing to the Epic Environmental Officer on (08) 8343 8100. An initial report to be is to be provided to Epic within 24 hours of the incident occurring, with a full written report to be provided within seven days.
18. On completion of any pipeline crossings, "as built" drawings are to be supplied to Epic within 30 days, at the cost of the proponent.
19. Epic will erect pipeline warning signs on each side of new vehicle cross over points as part of its routine activities within the area.

I ask that you acknowledge your acceptance of the above terms and conditions by signing where indicated below and returning a copy of this letter to an Epic Energy representative.

I hereby acknowledge the above conditions and restrictions:

Name: _____
Date: _____
Signature: _____

Epic Energy representative witness:

Name: _____
Date: _____
Signature: _____

DUTY OF CARE

TELSTRA CORPORATION ACN 051 775 556

IMPORTANT:

Please read and understand all the information and disclaimers provided below.

Sketches and Plans provided by Telstra are circuit diagrams only and indicate the presence of telecommunications plant in the general vicinity of the geographical area shown; exact ground cover and alignments cannot be given with any certainty and cover may alter over time. Telecommunications plant seldom follow straight lines and careful on site investigation is essential to uncover and reveal its exact position.

Due to the nature of Telstra plant and the age of some cables and records, it is impossible to ascertain the location of all Telstra plant. The accuracy and/or completeness of the information cannot be guaranteed and, accordingly Telstra plans are intended to be indicative only.

"DUTY OF CARE"

When working in the vicinity of telecommunications plant you have a legal "Duty of Care" that must be observed.

It is the responsibility of the owner and any consultant engaged by the owner, including an architect, consulting engineer, developer, and head contractor to design for minimal impact and protection of Telstra plant. Telstra will provide plans and sketches showing the presence of its network to assist at this design stage.

It is the owner's (or constructor's) responsibility to:-

- a) request plans of Telstra plant for a particular location at a reasonable time before construction begins. If you have any doubts as to the exact location of Telstra Plant, we strongly recommend that you engage an Accredited Plant Locator in your area;
- b) visually locate Telstra plant by hand digging or using non destructive water jet method (pot holing) where construction activities may damage or interfere with Telstra plant (see "Essential Precautions and Approach Distances" section for more information); and
- c) contact Telstra's **Plan Services** (see below for details) if Telstra plant is wholly or partly located near planned construction activities.

DAMAGE TO TELSTRA'S NETWORK MUST BE REPORTED TO 132203 IMMEDIATELY.

The owner is responsible for all plant damage when works commence prior to obtaining Telstra plans, or failure to follow agreed instructions.

Telstra reserves all rights to recover compensation for loss or damage to its cable network or other property including consequential losses.

Important note: *The construction of Telstra's network dates back over many years. Some of Telstra's pits and ducts were manufactured from asbestos-containing cement. You must take care in conducting any works in the vicinity of Telstra's pits and ducts. You must refrain from in any way disturbing or damaging Telstra's network infrastructure when conducting your works. We recommend that before you conduct any works in the vicinity of Telstra infrastructure that you ensure your processes and procedures eliminate any possibility of disturbing, damaging or interfering in any way with Telstra's infrastructure. Your processes and procedures should incorporate appropriate measures having regard to the nature of this risk.*

EMERGENCY SITUATIONS - RECEIVING TELSTRA PLANS

Telstra's automated mapping system will provide a fast response for emergency situations. (faster than an operator can provide manually). Automated responses are normally available 24/7.

To receive a fast automated response from Telstra your request must -

- be a web request lodged at DBYD (www.1100.com.au) The request will be then forwarded directly to Telstra.
- contain your email address so you can receive the automated email response.
- be for the purposes of 'mechanical excavation' or other ground breaking DBYD activity. (requests with activity types conveyancing, planning & design or other non digging activities may not be responded to until the next business day).
- be for an area less than 350 metres in size to obtain a PDF map. (over 350 metres will default to DWF due to size)
- be for an area less than 2500 metres in size to obtain a DWF map

NATURAL DISASTERS

Natural Disasters include (amongst other things) earthquakes, cyclones, floods and tsunamis.

In the case of such events, urgent requests for plans or information relating to the location of Telstra network can be made directly to Telstra Network Integrity Team Managers as follows:

NSW – John McInerney 0419 485 795

QLD – Glenn Swift 0419 660 174

VIC/TAS - David Povazan 0417 300 947

SA/NT - Mick Weaver 0419 828 703

WA - Angus Beresford-Peirse 0419 123 589

TELSTRA PLAN SERVICES

For all Telstra DBYD (Dial Before You Dig) map enquiries please contact Telstra Plan Services

email - Telstra.Plans@team.telstra.com

phone - **1800 653 935** (for urgent, onsite or optic fibre enquiries)

Please note - to make an enquiry the plans must be current (within 60 days of issue). If your plans have expired you will need to submit a new request via DBYD.

ASSET RELOCATIONS

You are not permitted to relocate or alter any Telstra assets or network under any circumstance.

For all enquiries relating to the relocation of Telstra assets please phone

1800 810 443 or email F1102490@team.telstra.com

DATA EXTRACTION FEES

In some instances a data extraction fee may be applicable for the supply of Telstra information. Typically a data extraction fee may apply to large projects, requests to be supplied in non standard formats, excessive hardcopy printing or requests for non digging purposes. Further details can be obtained by contacting Telstra Plan Services.

PRIVACY NOTE

Your information has been provided to Telstra by DBYD to enable Telstra to respond to your DBYD request. Telstra keeps your information in accordance with its privacy statement entitled "Protecting Your Privacy" which can be obtained from Telstra either by calling 1800 039 059 or visiting our website at www.telstra.com.au/privacy

CONCERNING TELSTRA PLANS:

Please note the following:

- For plans of Telstra locations contact **Dial Before You Dig** at least 2 business days prior to digging. (www.1100.com.au)
- Fast response can be provided by Telstra if an email address is supplied. (if posted, this may take up to one week or longer to receive plans)
- Telstra plans and information provided are **valid for 60 days** from the date of issue.
- Telstra owns and retains the copyright in all plans and details provided in conjunction with the applicant's request. The applicant is authorised to use the plans and details only for the purpose indicated in the applicant's request. The applicant must not use the plans or details for any other purpose. The plans and details should be disposed of by shredding or any other secure disposal method after use.
- Telstra plans or other details are provided only for the use of the applicant, its servants, or agents. **The applicant may not give the plans or details to other parties, and may not generate profit from commercialising the plans or details.**
- Please contact Telstra **Plan Services** (see above for details) immediately should you locate Telstra assets not indicated on these plans.
- Telstra, its servants or agents shall not be liable for any loss or damage caused or occasioned by the use of plans and or details so supplied to the applicant, its servants and agents, and the applicant agrees to indemnify Telstra against any claim or demand for any such loss or damage.

Please ensure Telstra plans and information provided remains on-site at all times throughout your construction phase.

ESSENTIAL PRECAUTIONS and APPROACH DISTANCES:

NOTE: If the following clearances cannot be maintained, please contact Telstra Plan Services (see above for details) for advice on how best to resolve this situation.

1. On receipt of plans and sketches and before commencing excavation work or similar activities near Telstra's plant, **carefully locate this plant first** to avoid damage. Undertake prior manual exposure such as potholing when intending to excavate or work **closer** to Telstra plant than the following approach distances.

Where Telstra's plant is in an area where road and footpaths are well defined by kerbs or other features a minimum clear distance of 600mm must be maintained from where it could be reasonably presumed that plant would reside.

In non established or unformed reserves and terrain, this approach distance must be at least 1.5 metres.

In country/rural areas which may have wider variations in reasonably presumed plant presence, the following minimum approach distances apply:

- a) Parallel to major plant: 10 metres (for IEN, optic fibre and copper cable over 300 pairs)
- b) Parallel to other plant: 5 metres

NOTE: Even manual pot-holing needs to be undertaken with extreme care, commonsense and employing techniques least likely to damage cables. For example, orientate shovel blades and trowels parallel to the cable rather than digging across the cable.

If construction work is parallel to Telstra plant, then careful hand digging or using non destructive water jet method (pot-holing) at least every 5m is required to establish the location of all plant, hence confirming nominal locations before work can commence.

2. Maintain the following minimum clearance between construction activity and **actual location** of Telstra Plant.

Jackhammers/Pneumatic Breakers	<i>Not within 1.0m of actual location.</i>
Vibrating Plate or Wacker Packer Compactor	<i>Not within 0.5m of Telstra ducts. 300mm compact clearance cover before compactor can be used across Telstra ducts.</i>
Boring Equipment (in-line, horizontal and vertical)	<i>Not within 2.0m of actual location. Constructor to hand dig or use non-destructive water jet method (pot-hole) and expose plant.</i>
Heavy Vehicle Traffic (over 3 tonnes)	<i>Not to be driven across Telstra ducts (or plant) with less than 600mm cover. Constructor to check depth via hand digging.</i>
Mechanical Excavators, Farm ploughing and Tree Removal	<i>Not within 1.0m of actual location. Constructor to hand dig or use non-destructive water jet method (pot-hole) and expose plant.</i>

All Telstra pits and manholes should be a minimum of 1.2m in from the back of kerb after the completion of your work.

All Telstra conduit should have the following minimum depth of cover after the completion of your work:-

Footway 450mm

Roadway 450mm at drain invert and 600mm at road centre crown

For clearance distances relating to Telstra pillars, cabinets and RIMs/RCMs please contact Telstra Plan Services (see above for details).

FURTHER ASSISTANCE:

Assistance can be obtained by contacting Telstra Plan Services

Where on-site location is provided, the owner is responsible for all hand digging or use non-destructive water jet method (pot-holing) to visually locate and expose Telstra plant.

If plant location plans or visual location of Telstra plant by digging reveals that the location of Telstra plant is situated wholly or partly where the owner plans to work, then Telstra's Network Integrity Group must be contacted through Telstra Plan Services to discuss possible engineering solutions.

NOTE:

If Telstra relocation or protection works are part of the agreed solution, then payment to Telstra for the cost of this work shall be the responsibility of the principal developer or constructor. The principal developer or constructor will be required to provide Telstra with the details of their proposed work showing how Telstra's plant is to be accommodated and these details must be approved by the Regional Network Integrity Manager prior to the commencement of site works.

RURAL LANDOWNERS


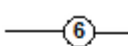

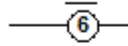

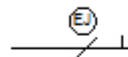
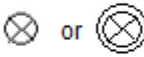
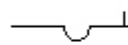

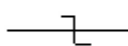

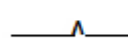



Where Telstra owned cable crosses agricultural land, Telstra may provide a once-off free on-site electronic cable location. The Telstra Plan Services operator will provide assistance in determining whether a free on-site location is required.

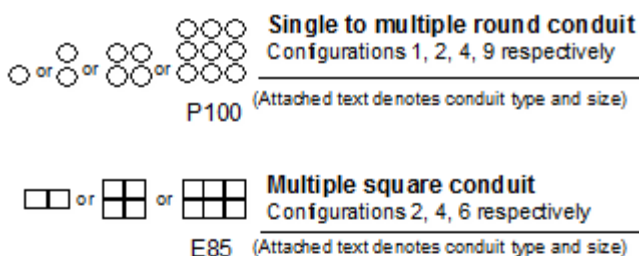
Please note:

- The exact location, including depth of cables can only be verified by pot holing, which is not covered by this service.
- This service is only available to assist private rural land owners.
- This service covers one hour on-site only. Additional time can be purchased directly from the Accredited Plant Locator.

For further information including terms and conditions, please contact Plan Services on **1800 653 935**.

LEGEND

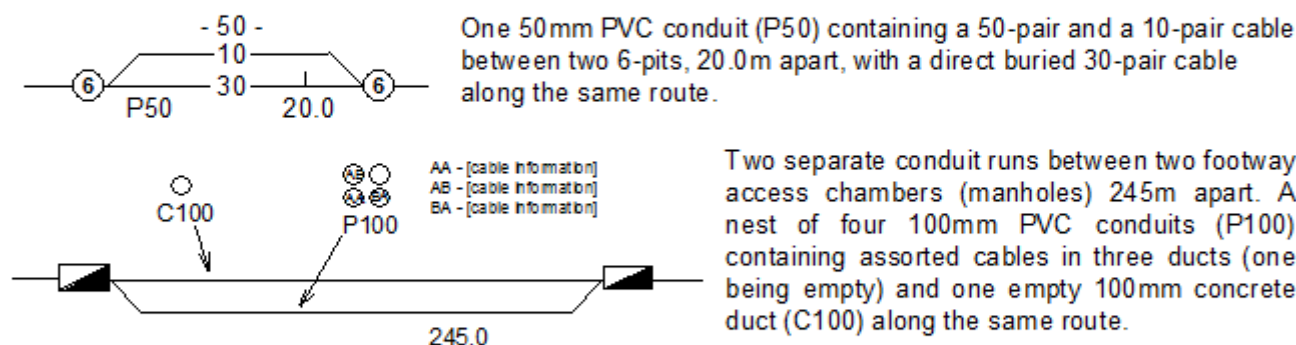
	Exchange (major cable present)		Cable jointing pit (number indicating pit type)
	Footway access chamber (can vary from 1-lid to 12-lid)		Buried cable jointing pit (number indicating pit type)
	Roadway access chamber		Elevated cable joint (above ground joint on buried cable)
	Pillar/cabinet (above the ground / free standing)		Cable loop (direct buried)
	Above ground complex equipment housing (eg RIM) Please Note: This equipment is powered by 240V electricity.		Telstra Plant in shared utility trench
	PT Public telephone Please Note: This equipment is powered by 240V electricity.		Aerial Cable (above ground)
	Direct buried cable		Aerial Cable (attached to joint use pole e.g. power)
			Optical fibre cable direct buried



Some examples of conduit type and size:
A - Asbestos cement, P - PVC / plastic, C - Concrete, GI - Galvanised iron, E - Earthenware.
Conduit sizes *nominally* range from 20mm to 100mm.

P50	50mm PVC conduit
P100	100mm PVC conduit
A100	100mm asbestos cement conduit
E 85	85mm square earthenware conduit

Some examples of how to read Telstra plans:



WARNING: Telstra's plans show only the presence of cables and plant. They only show their position relative to road boundaries, property fences etc. at the time of installation and Telstra does not warrant or hold out that such plans are accurate thereafter due to changes that may occur over time.

DO NOT ASSUME DEPTH OR ALIGNMENT of cables or plant as these vary significantly.

The customer has a DUTY OF CARE when excavating near Telstra cables and plant. Before using machine excavators TELSTRA PLANT MUST FIRST BE PHYSICALLY EXPOSED BY SOFT DIG (potholing) to identify its location.

Telstra will seek compensation for damages caused to its property and losses caused to Telstra and its customers.

ELECTRONIC PLANS - PDF AND DWF MAPS

If you have received Telstra maps via email you will have received the maps as either a PDF file (for smaller areas) or DWF file (for larger area requests). If you are unable to launch any one of the softcopy files for viewing and printing, you may need to download and install one or more of the free viewing and printing products such as Adobe Acrobat Reader (for PDF files) or Autodesk Design Review (for DWF files) available from the internet.

PDF files

PDF is the default softcopy format for all requests for areas up to approx *350m in length. (*depends on geographic location of request). The PDF file is formatted to A3 portrait sheet however it can be printed on any size sheet including from A4 to AO, either as the full sheet or selected areas to suit needs and legibility. (to print a selected area zoom up and print "current view"). If there are multiple layers of Telstra network you may receive up to 2 sheets in the single PDF file attachment supplied. There are three types or layers of network normally recorded - local network, mains cables or a combined layer of local and mains (usually displayed in rural or semi rural areas). If mains cable network is present in addition to local cables (i.e. as separate layer in a particular area), the mains will be shown on a separate sheet. The mains cable information should be read in conjunction with the local cable information.

DWF files

This is the default softcopy format for all requests for areas that are over 350m in length. Maximum length for a DWF automated response is approx 2500m - depending on geographic location of request (manually-processed plans may provide larger coverage). The DWF files differ from PDF in that DWF are vector files made up of layers that can be turned on or off and are not formatted to a specific sheet size. This makes them ideal for larger areas and for transmitting over email etc.

How to view Telstra DWF files -

Telstra DWF files come with all layers turned on. You may need to turn individual layers on or off for viewing and printing clarity. Individual layer names are CC (main cable/conduit), DA (distribution or local area network) and sometimes a combined layer - CAC. Layer details can be viewed by either picking off the side menu or by selecting 'window' then 'layers' off the top menu bar. Use 'layers' to turn individual layers off or on. (double click or right click on layer icon.)

How to print Telstra DWF files -

DWF files can be printed on any size sheet. They can be printed in their entirety or by selected areas of interest. Some DWF coverage areas are large and are not suited to printing legibly on a single A4 sheet - you may need several prints if you only have an A4 printer. Alternatively, an A3, A1 or larger printer could be used. To print, zoom in or out and then, by changing the 'print range' settings, you can print what is displayed on your screen to suit your paper size. If you only have a small printer, e.g. A4, you may need to zoom until the text is legible on your screen for it to be legible on the print. (which is why you may need several prints). To print what is displayed on your screen the 'view' setting should be changed from 'full page' to 'current view'. The 'current sheet' setting should also be selected. You may need to print layers separately for clarity and legibility. (details above on how to turn layers on or off)

How to change the background colour from white to black (when viewing) Telstra DWF files -

If using Autodesk Design Review the background colour can be changed by selecting "Tools" then "options" then "sheet". Tick the box "override published paper colors" and select the colour required using the tab provided.

Telstra Automated Mapping System

Telstra provides an automated plan response for the majority of DBYD requests received.

Requestors must supply a current email address on their request to DBYD and must also be able to accept a standard format of PDF or DWF. An automated response can be provided much faster than the alternative of a mailed hardcopy, and can avoid unnecessary delays in waiting for plans to arrive. Being softcopy, it can easily be sent directly to a worksite and can be available 7 days a week. The automated system can be configured for individual requestors to receive either PDF/DWF (where small requests are PDF and larger requests are DWF) or, alternatively, all in DWF (both small and large requests). Please contact Plan Services for further details or to have your preferences updated. Please note that all requests over *350m (approx.) in size can only be supplied in DWF format and there are size limits on what can be provided. (* actual size depends on geographic location of requested area)

ACCREDITED PLANT LOCATORS (For your area)

On-site assistance should be sought from an **Accredited Plant Locator** (Telstra accredited), if the telecommunications plant cannot be located within 2.5 metres of the locations indicated on the drawings provided.

On-site advice should be obtained from the Telstra Accredited Plant Locator who is highly skilled in locating Telstra plant. In the case where Telstra plant is outside a recognised road reserve Telstra recommends that Telstra Plan Services are contacted for assistance prior to engaging an Accredited Plant Locator.

Telstra does not permit external parties (non-Telstra) to conduct work on our network. Only Telstra staff or Telstra contractors that are correctly accredited are allowed to work on or enter our manholes, pits, ducts, cables etc.

Please note it is a criminal offence under the *Criminal Code Act 1995 (Cth)* to tamper or interfere with communication facilities owned by a carrier. Heavy penalties may apply for breach of this prohibition, and any damages suffered, or costs incurred by Telstra as a result of any such unauthorised works may be claimed against you.

Should your projects require Telstra network location, any asset plant locator that is used **MUST** be Telstra accredited to be able to access and locate Telstra network. (a list of which is provided with the Dial Before You Dig plans). A Telstra Accredited Plant Locator must have a current identification card issued by Telstra.

For the assistance of customers an accredited Asset Plant Locator can perform any of the following activities if requested to do so by the owner:

- review Telstra's plans to assess the approximate location of Telstra plant;
- advise owners of the approximate location of Telstra plant according to the plans;
- advise owners of the best method for locating Telstra plant;
- advise owners of the hazards of unqualified persons attempting to find the exact location of Telstra plant and working in the vicinity of Telstra plant without first locating its exact position; and
- perform trial hole explorations by hand digging (pot-holing) to expose Telstra plant with a high degree of skill, competence and efficiency and utilising all necessary safety equipment.

A list of Accredited Plant Locators operating in your area is attached. Accredited Plant Locators are certified by Telstra to perform the tasks listed above. Owners may engage Accredited Plant Locators to perform these services, however Telstra does not give any warranty in relation to these services that Accredited Plant Locators are competent or experienced to perform any other services.

The attached list provides the names and contact details for Accredited Plant Locators who service your area and can provide you with assistance in locating Telstra plant on site. These organisations have been able to satisfy Telstra that they have a sound knowledge of telecommunications plant and its sensitivity to disturbance; appropriate equipment for locating telecommunications plant and competent personnel who are able to interpret telecommunications plans and sketches and understand safety issues relevant to working around telecommunications plant. They are also able to advise you on the actions which should be taken if the work you propose will/could result in a relocation of the telecommunications plant and/or its means of support.

We recommend that you engage the assistance of one of these Accredited Plant Locators as a step towards discharging your Duty of Care obligations when seeking the location of Telstra's telecommunications plant.

Please Note:

- Optic fibre cable locations must be performed by a locator with Telstra optic fibre cable location accreditation. (not all copper accredited locators have optic fibre accreditation). The locators with additional optic fibre cable location accreditation are indicated by a 'yes' in the column headed 'Fibre' in the lists of locators that are published with the DBYD plans.

Telstra Accredited Plant Locators - South Australia / Northern Territory.

If a physical location is required please contact a Telstra accredited locator from the list below (fees apply).

*Optic fibre cable locations must be performed by a locator with Telstra optic fibre location accreditation. Locators with Telstra optic fibre cable location accreditation are indicated by a 'yes' in the 'Fibre' column.

Northern Territory

Company name and areas/districts covered	*Fibre	Contact details
AnywAir Pipe & Cable Locators - Winnellie <i>All Of NT, Broome, Kununurra, Kalumburu, Weipa, Normanton, Burketown</i>	Yes	Mob: 0418 890 071
Australian Underground Survey Solutions Pty Ltd - Narre Warren <i>All Areas</i>	No	(03) 9700 2311 or 0419 488 883 Fax: (03) 9314 1568
Danisam Pty Ltd - Parap <i>Covering Northern Territory and the top of WA</i>	Yes	0417 089 865 Fax: 08 89416435
Dig Hard Excavations - Casuarina <i>Remote Communities NT</i>	Yes	0411 591 153 Fax: (08) 8945 0727
iFind PIPES 'N' CABLES PTY LTD - Winellie <i>All of NT</i>	No	0419 612 476 Fax: (08) 8941 2615 k.phelps1970@hotmail.com
Kellercom Pty Ltd - Port Pirie <i>Eyre Peninsula, Yorke Peninsular, Far North, Flinders Ranges, Mid North</i>	Yes	(08) 8632 5123 or 0428 600 077 Fax: (08) 8633 4792
Northern Communication Services - Casuarina	Yes	Mob: 0407 904 319
Pipeline Technology Services - Marleston	No	(08) 8351 7000 or 0419 878 220 Fax:(08) 8159 7537
Subscan - Palmerston <i>Covering Darwin and Remote Areas of the Northern Territory</i>	No	0414 863 874 Fax: (08) 8988 3093
Trenchless Pipelaying Contractors - Plympton	Yes	(08) 8376 5911 or 0418 881 175
Visionstream Australia Pty Ltd - Perth Airport	Yes	(08) 6211 0813 or 0439 799 657 Fax: (08) 6211 0899 Email:nick.jenkins@visionstream.com.au

South Australia

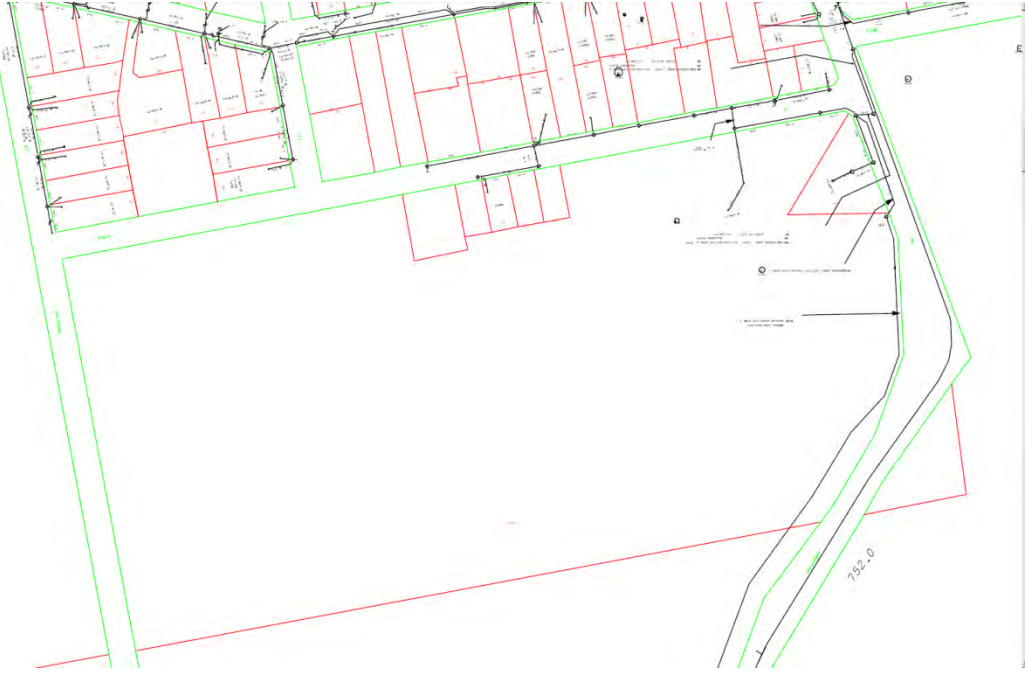
Company name and areas/districts covered	Fibre	Contact details
Accurate Locating Pipes & Cables previously trading under the name of ' State Wide Precise Detection Pipes & Cables' - <i>Barossa Valley</i> <i>Adelaide, Adelaide Hills, Barossa Valley and all regions of SA</i>	No	0407 464 882
Adelaide Hills Pipe & Cable Location - <i>Mt Barker</i> <i>Servicing Adelaide Hills & Regional South Australia</i>	No	0419 822 781
Appcil Pty Ltd - <i>Winkie</i> <i>All Riverland areas of South Australia, plus Upper Mallee, North Western border areas of Vic and South Western NSW</i>	Yes	(08) 8583 7365 or 0439 822 102 Fax: (08) 8583 7356
Australian Underground Survey Solutions Pty Ltd - <i>Narre Warren</i>	No	(03) 9700 2311 or 0419 488 883 Fax: (03) 9314 1568
Baldock Earthmoving - <i>Normanville</i> <i>Covering - South Adelaide Hills, Fleurieu Peninsula</i>	No	(08) 8558 2686 or 0418 857 144 Fax: (08) 8558 2687
Barry Johnstone Locations and Communications - <i>Mt Gambier. South East Of South Australia (Limestone Coast), South West Victoria</i>	Yes	0418 834 804
BRP Products (Aust) Pty Ltd - <i>Thebarton</i> <i>Covering - All of SA</i>	No	(08) 8234 0633 Fax: (08) 8234 0920
Cable Search Services - <i>Echunga</i> <i>Rural Areas of SA excluding Adelaide metro area</i>	Yes	0417 866 121 Fax: (08) 8388 8643
Capogreco Excavations Pty Ltd - <i>Mildura South Mildura, Wentworth, Gol Gol, Dareton, Ouyen, Robinvale, Merbein</i>	No	(03) 5022 2070 or 0428 356 269 Fax (03) 5022 7003
Corny's Cabling & Phones Pty Ltd - <i>Port Lincoln Eyre Penninsula</i>	Yes	0409 814 464
D-TECH Ground and Overhead Services Ptd Ltd - <i>Notting Hill</i> <i>All of Vic</i>	No	0421 697 090 Email: tina@d-tech.net.au
Detect SA Ptd Ltd - <i>Redwood Park</i> <i>All Areas</i>	Yes	0407 649 759 Fax (08) 8264 9759
Dial-A-Trench - <i>Dernan Court</i>	No	0408 804 742
Far West Communication – <i>Broken Hill</i> <i>NSW Areas – Cobar, Menindee, Tibbaburra, Ivanhoe & surrounding areas</i> <i>S.A Areas – Eastern Regions of S.A including Mingary and Cockburn</i>	Yes	0439 350 355
Green Triangle Electronics – <i>Mt Gambier</i> <i>South East of South Australia and Western Victoria</i>	No	(08) 8724 2222 Fax: (08) 8723 0249
Independent Locating Services - <i>Meadows</i>	No	0418 812 325 Fax:(08) 8388 3180

Kellercom Pty Ltd - Port Pirie <i>Eyre Peninsula, Yorke Peninsular, Far North, Flinders Ranges, Mid North</i>	Yes	(08) 8632 5123 or 0428 600 703 Fax: (08) 8633 4792
Larsen Electrics - Red Cliffs <i>Mildura & Districts, NSW South, SA</i>	No	(03) 5024 1733 or 0428 385 610 Fax (03) 5024 1170
National Civil & Civic Services – Thebarton <i>All Areas South Eastern SA</i>	Yes	0422 768 660 nathan.smith@naticiv.com.au
P.A Plumbers - Golden Grove	No	(08) 8251 1733 or 0408 442 210 Fax: (08) 8251 1833
P.D Excavations Pty Ltd - Regency Park	No	(08) 8347 0055 or 0408 820 408 Fax: (08) 8347 0150
Pipeline Technology Services - Marleston	No	(08) 8351 7000 or 0419 878 220 Fax:(08) 8159 7537
Plumbing & Pipeline Solutions (SA) Pty Ltd - Marleston	Yes	(08) 8297 1000 or 0408 809 928 Fax: (08) 8297 0088
Riverina Horizontal Boring Pty Ltd - Wodonga	No	(02) 6059 1788 or 0419 149 153 Fax: (02) 6059 5090
SADB Directional Boring - Newton	No	(08) 8168 7200 Fax: (08) 8168 7299
Service Locate Pty Ltd – Mawson Lake	No	0424 906 777
Subtrax - Meningie <i>Covering South Australia statewide</i>	Yes	(08) 8575 1434 or 0429 808 850
Sure Search - Walkerville	Yes	0418 896 772 Fax:(08) 8362 1179
T&J Constructions P/L - Greenfields	No	(08) 8182 6989 or 0419 840 218 Fax: (08) 8182 6587
Tatiara Trench Digger & Bobcat Hire - Bordertown <i>Covering districts - Bordertown and surrounding, Naracoote, Kingston, Meningie, Pinnaroo, Keith</i>	Yes	(08) 8752 1197 or 0428 587 596 Fax:(08) 8752 0406
Trenchless Pipelaying Contractors - Plympton <i>Covering all Metropolitan and Country Areas in S.A.</i>	Yes	(08) 8376 5911 or 0409 451 550
Tron Civil Contracting Pty. Ltd –Salisbury South	No	(08) 8281 3860 Fax:(08) 8281 0278
Vac-U-Digga - Lonsdale <i>Adelaide, Port Pirie, Whyalla, Port Augusta, Roxby Downs</i>	No	0447 466 036 or 1300 822 836
Wet Plumbing Service - Park Holme	No	0419 938 938

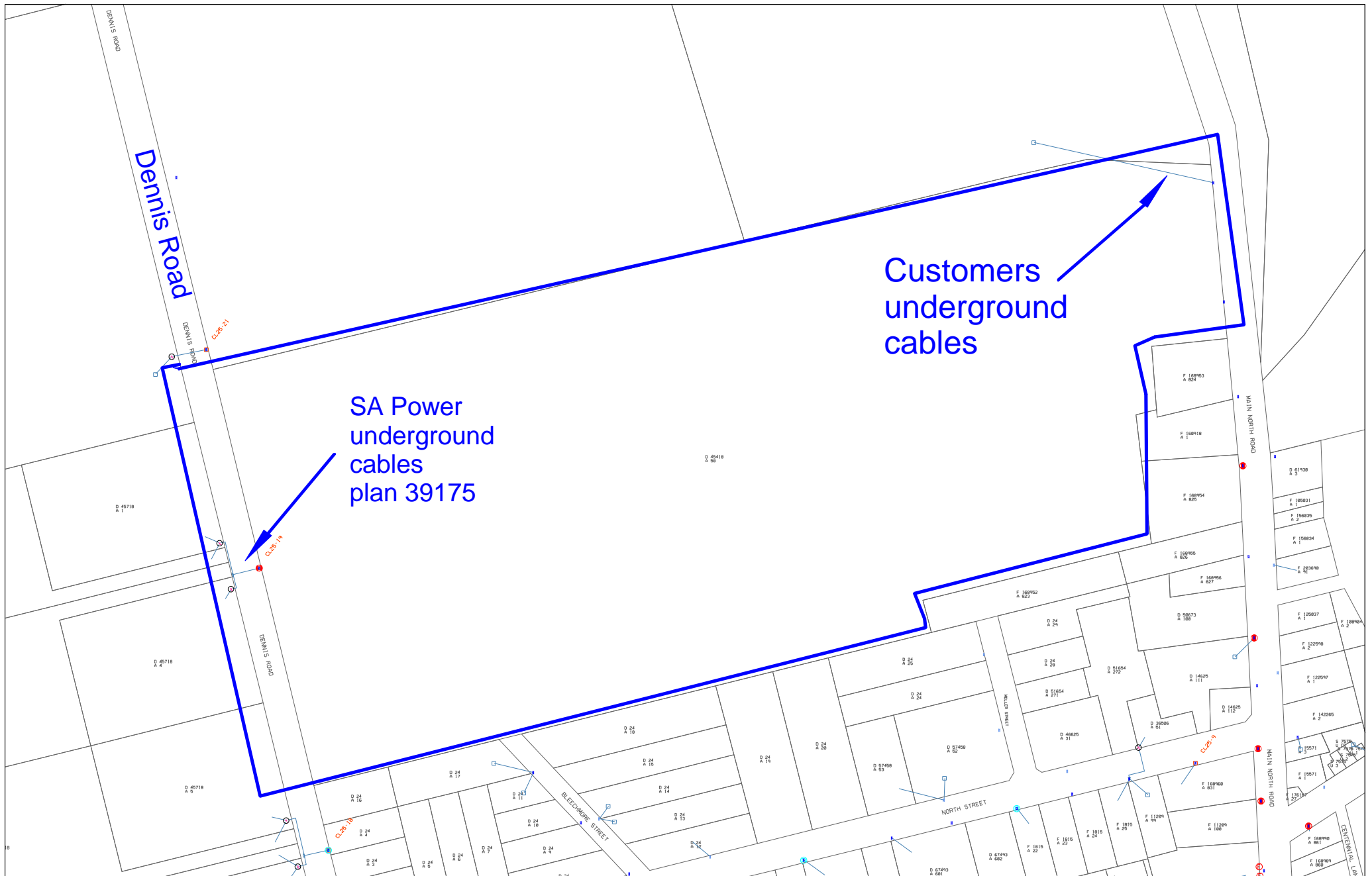
- Each Accredited Plant Locator is NOT permitted to provide depth of communications plant unless physically exposed by hand digging.
- The details of any contract, agreement or retainer for site assistance to locate telecommunications plant shall be for you to decide and agree with the organisation engaged. Telstra is not a party to any contract entered into between an owner and an Accredited Plant Locator. The Accredited Plant Locators are able to provide guidance concerning the extent of site investigations required.
- Payment for the site assistance will be your responsibility and payment details should be agreed before the engagement is confirmed.
- Telstra does not accept any liability or responsibility for the performance of or advice given by an Accredited Plant Locator. Accreditation is an initiative taken by Telstra towards the establishment and maintenance of competency standards. However, performance and the advice given will always depend on the nature of the individual engagement.
- Each Accredited Plant Locator has been issued with a certificate which confirms the Accreditation. Every 2 years Telstra will reassess the accreditation and where appropriate will issue a letter confirming the accreditation for the next 2 years. You have the right to request the organisation you engage to show evidence of their ID card.
- Neither the Accredited Plant Locator nor any of its employees are an employee or agent for Telstra and Telstra is not liable for any damage or loss caused by the Accredited Plant Locator or its employees.
- The attached list contains the current names and contact details of Accredited Plant Locators who service your area, however, these details are subject to change.

IDEA FOR CONSIDERATION:

Telstra offer free Cable Awareness Presentations & Advanced Cable Reading Presentations, if you believe you or your company would benefit from this offer please contact Network Integrity on 1800 810 443 or **F1102490@team.telstra.com**



Lot 58: Dial Before You Dig Responses



Notes: Dennis Auburn
SA Power Networks

Seq No:	34018648
Date:	5/16/2014
Enquiries:	1300 884 037
Fax:	08 7003 1117
Hours:	8:00am - 4:30pm
dialbeforeyoudig@sawater.com.au	

SOUTH AUSTRALIAN WATER CORPORATION

Dial Before You Dig Cover Sheet

To:	Australian Water Environments	Phone No:	0883788000
Attention:	Miss Felicity Ginnivan	Mobile No:	Not Supplied
Address:	Unit 1 198 Greenhill Road	Fax No:	0883578988
Suburb:	Eastwood 5063 SA		
Email:	felicityginnivan@austwaterenv.com.au		

Dial Before You Dig Request Details

Address:	Dennis	Suburb:	Auburn
Side of Street:		Intersection:	
Distance:			
Activity Code:	15	Activity Description:	Mechanical Excavation
Map Type:	Satopo	Map Ref:	6629G4
GPS X Coord:		GPS Y Coord:	
Private/Road/Both:	Private	Traffic Affected:	False
Notification No:	7422491		
Message:	Not Supplied		

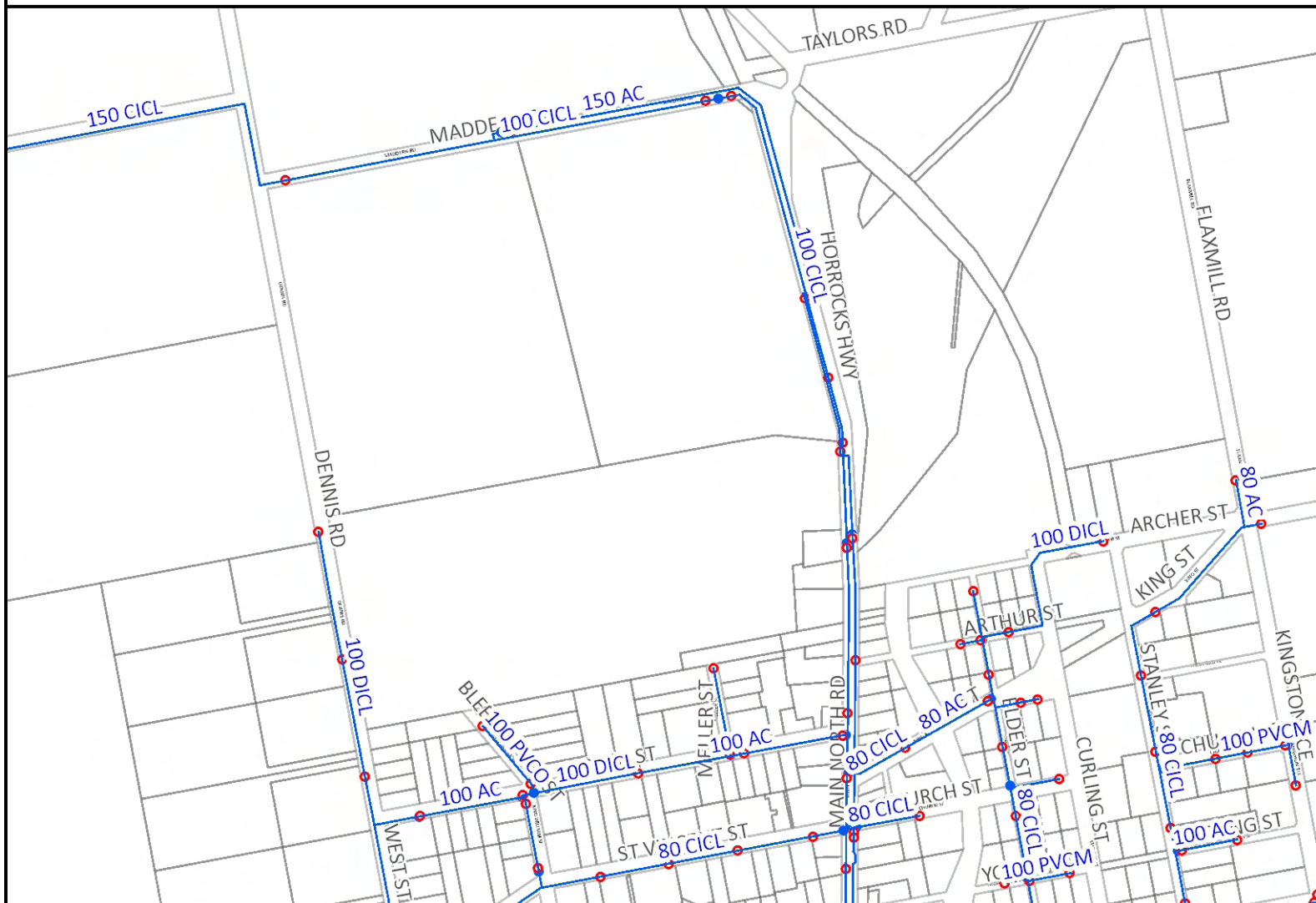
SA Water Comments

Please find attached your Dial Before You Dig map request results.

Number of Pages including this one:5

This advice and/or information is given for your private use only. The accuracy of the advice and information is not guaranteed and no responsibility is accepted by the Crown, the South Australian Water Corporation or their officers, agents or servants for any loss or damage caused by reliance upon this advice and/or information, as a result of any error, omission, misdescription or misstatement therein whether caused by negligence or otherwise.

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Enquiries: 1300 650 950

Facsimile: (08) 7003 3329

DIAL.BEFORE.YOU.DIG@sawater.com.au

- ▲ CP Test Points
- CP Transformer Rectifiers
- ▲ CP Insulated Joints
- CP Anodes
- CP Anode Bed Outlines
- × CP Anode Beds
- CP Anode Cables
- CP Cathode Cables
- CP Electricity Supply Cables
- Water Main Labels**
- Water Mains**
- Potable System
- Non-Potable System
- Non-Potable System (Raw Water)
- Potability Not Allocated
- ... Private Ownership
- ... Water Mains Planning
- Water Hydrants
- Water Pillar Hydrants
- Water Valves**
- Locked
- Not locked
- Ⓜ Water Meters - Master
- Water Mains (Decommissioned)
- Water Valves (Decommissioned)



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- CP Electricity Supply Cables
- Wastewater Gravity Labels
- Wastewater Pumping Labels
- Wastewater Low Pressure Labels
- Wastewater Vacuum Labels
- Wastewater Gravity Mains
- Wastewater Vacuum Mains
- Wastewater Pumping Mains
- Standard
- Sludge
- Effluent Outfall
- Wastewater Low Pressure
- Wastewater Ancillary Pipes
- Wastewater Mains Planning
- Wastewater Maintenance Hole
- Wastewater Maintenance Shaft
- Wastewater Inspection Opening



Enquiries: 1300 650 950

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- ▲ CP Insulated Joints
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- CP Anode Bed Outlines
- × CP Anode Beds
- CP Anode Cables
- CP Cathode Cables
- CP Electricity Supply Cables
- Recycled Water Main Labels
- Recycled Water Mains
- In Service Mains
- Abandoned
- Abandoned and Replaced
- Recycled Water Mains Planning
- Recycled Water Valves
- River Murray
- Inland Water
- SA Water Regions
- Land Parcels
- Street Labels
- SA Water Depots
- Streets Labels
- Operational Areas
- +
- Railway



Enquiries: 1300 650 950

Facsimile: (08) 7003 3329

DIAL.BEFORE.YOU.DIG@sawater.com.au

- ▲ CP Test Points
- CP Transformer Rectifiers
- ▲ CP Insulated Joints
- CP Anodes
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- × CP Anode Beds
- CP Anode Cables
- CP Cathode Cables
- CP Electricity Supply Cables
- Salt Interception Main Labels
- Salt Interception Mains
- Salt Interception Valves
- Salt Interception Pumps
- ✕ Salt Interception Attachments
- Ⓜ Salt Interception Meters
- Salt Interception Junctions
- ⊕ Salt Interception Production Bores
- ⊗ Salt Interception Observation Bores
- Salt Interception Consumer Elec. Main
- River Murray
- Inland Water
- SA Water Regions
- Land Parcels
- Street Labels
- SA Water Depots



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dennis rd
240347

Report Generated: 16/5/2014 8:45 AM

Scale 1:8,210.49

(@A4)

DUTY OF CARE

TELSTRA CORPORATION ACN 051 775 556

IMPORTANT:

Please read and understand all the information and disclaimers provided below.

Sketches and Plans provided by Telstra are circuit diagrams only and indicate the presence of telecommunications plant in the general vicinity of the geographical area shown; exact ground cover and alignments cannot be given with any certainty and cover may alter over time. Telecommunications plant seldom follow straight lines and careful on site investigation is essential to uncover and reveal its exact position.

Due to the nature of Telstra plant and the age of some cables and records, it is impossible to ascertain the location of all Telstra plant. The accuracy and/or completeness of the information cannot be guaranteed and, accordingly Telstra plans are intended to be indicative only.

"DUTY OF CARE"

When working in the vicinity of telecommunications plant you have a legal "Duty of Care" that must be observed.

It is the responsibility of the owner and any consultant engaged by the owner, including an architect, consulting engineer, developer, and head contractor to design for minimal impact and protection of Telstra plant. Telstra will provide plans and sketches showing the presence of its network to assist at this design stage.

It is the owner's (or constructor's) responsibility to:-

- a) request plans of Telstra plant for a particular location at a reasonable time before construction begins. If you have any doubts as to the exact location of Telstra Plant, we strongly recommend that you engage an Accredited Plant Locator in your area;
- b) visually locate Telstra plant by hand digging or using non destructive water jet method (pot holing) where construction activities may damage or interfere with Telstra plant (see "Essential Precautions and Approach Distances" section for more information); and
- c) contact Telstra's **Plan Services** (see below for details) if Telstra plant is wholly or partly located near planned construction activities.

DAMAGE TO TELSTRA'S NETWORK MUST BE REPORTED TO 132203 IMMEDIATELY.

The owner is responsible for all plant damage when works commence prior to obtaining Telstra plans, or failure to follow agreed instructions.

Telstra reserves all rights to recover compensation for loss or damage to its cable network or other property including consequential losses.

Important note: *The construction of Telstra's network dates back over many years. Some of Telstra's pits and ducts were manufactured from asbestos-containing cement. You must take care in conducting any works in the vicinity of Telstra's pits and ducts. You must refrain from in any way disturbing or damaging Telstra's network infrastructure when conducting your works. We recommend that before you conduct any works in the vicinity of Telstra infrastructure that you ensure your processes and procedures eliminate any possibility of disturbing, damaging or interfering in any way with Telstra's infrastructure. Your processes and procedures should incorporate appropriate measures having regard to the nature of this risk.*

EMERGENCY SITUATIONS - RECEIVING TELSTRA PLANS

Telstra's automated mapping system will provide a fast response for emergency situations. (faster than an operator can provide manually). Automated responses are normally available 24/7.

To receive a fast automated response from Telstra your request must -

- be a web request lodged at DBYD (www.1100.com.au) The request will be then forwarded directly to Telstra.
- contain your email address so you can receive the automated email response.
- be for the purposes of 'mechanical excavation' or other ground breaking DBYD activity. (requests with activity types conveyancing, planning & design or other non digging activities may not be responded to until the next business day).
- be for an area less than 350 metres in size to obtain a PDF map. (over 350 metres will default to DWF due to size)
- be for an area less than 2500 metres in size to obtain a DWF map

NATURAL DISASTERS

Natural Disasters include (amongst other things) earthquakes, cyclones, floods and tsunamis.

In the case of such events, urgent requests for plans or information relating to the location of Telstra network can be made directly to Telstra Network Integrity Team Managers as follows:

NSW – John McInerney 0419 485 795

QLD – Glenn Swift 0419 660 174

VIC/TAS - David Povazan 0417 300 947

SA/NT - Mick Weaver 0419 828 703

WA - Angus Beresford-Peirse 0419 123 589

TELSTRA PLAN SERVICES

For all Telstra DBYD (Dial Before You Dig) map enquiries please contact Telstra Plan Services

email - Telstra.Plans@team.telstra.com

phone - **1800 653 935** (for urgent, onsite or optic fibre enquiries)

Please note - to make an enquiry the plans must be current (within 60 days of issue). If your plans have expired you will need to submit a new request via DBYD.

ASSET RELOCATIONS

You are not permitted to relocate or alter any Telstra assets or network under any circumstance.

For all enquiries relating to the relocation of Telstra assets please phone

1800 810 443 or email F1102490@team.telstra.com

DATA EXTRACTION FEES

In some instances a data extraction fee may be applicable for the supply of Telstra information. Typically a data extraction fee may apply to large projects, requests to be supplied in non standard formats, excessive hardcopy printing or requests for non digging purposes. Further details can be obtained by contacting Telstra Plan Services.

PRIVACY NOTE

Your information has been provided to Telstra by DBYD to enable Telstra to respond to your DBYD request. Telstra keeps your information in accordance with its privacy statement entitled "Protecting Your Privacy" which can be obtained from Telstra either by calling 1800 039 059 or visiting our website at www.telstra.com.au/privacy

CONCERNING TELSTRA PLANS:

Please note the following:

- For plans of Telstra locations contact **Dial Before You Dig** at least 2 business days prior to digging. (www.1100.com.au)
- Fast response can be provided by Telstra if an email address is supplied. (if posted, this may take up to one week or longer to receive plans)
- Telstra plans and information provided are **valid for 60 days** from the date of issue.
- Telstra owns and retains the copyright in all plans and details provided in conjunction with the applicant's request. The applicant is authorised to use the plans and details only for the purpose indicated in the applicant's request. The applicant must not use the plans or details for any other purpose. The plans and details should be disposed of by shredding or any other secure disposal method after use.
- Telstra plans or other details are provided only for the use of the applicant, its servants, or agents. **The applicant may not give the plans or details to other parties, and may not generate profit from commercialising the plans or details.**
- Please contact Telstra **Plan Services** (see above for details) immediately should you locate Telstra assets not indicated on these plans.
- Telstra, its servants or agents shall not be liable for any loss or damage caused or occasioned by the use of plans and or details so supplied to the applicant, its servants and agents, and the applicant agrees to indemnify Telstra against any claim or demand for any such loss or damage.

Please ensure Telstra plans and information provided remains on-site at all times throughout your construction phase.

ESSENTIAL PRECAUTIONS and APPROACH DISTANCES:

NOTE: If the following clearances cannot be maintained, please contact Telstra Plan Services (see above for details) for advice on how best to resolve this situation.

1. On receipt of plans and sketches and before commencing excavation work or similar activities near Telstra's plant, **carefully locate this plant first** to avoid damage. Undertake prior manual exposure such as potholing when intending to excavate or work **closer** to Telstra plant than the following approach distances.

Where Telstra's plant is in an area where road and footpaths are well defined by kerbs or other features a minimum clear distance of 600mm must be maintained from where it could be reasonably presumed that plant would reside.

In non established or unformed reserves and terrain, this approach distance must be at least 1.5 metres.

In country/rural areas which may have wider variations in reasonably presumed plant presence, the following minimum approach distances apply:

- a) Parallel to major plant: 10 metres (for IEN, optic fibre and copper cable over 300 pairs)
- b) Parallel to other plant: 5 metres

NOTE: Even manual pot-holing needs to be undertaken with extreme care, commonsense and employing techniques least likely to damage cables. For example, orientate shovel blades and trowels parallel to the cable rather than digging across the cable.

If construction work is parallel to Telstra plant, then careful hand digging or using non destructive water jet method (pot-holing) at least every 5m is required to establish the location of all plant, hence confirming nominal locations before work can commence.

2. Maintain the following minimum clearance between construction activity and **actual location** of Telstra Plant.

Jackhammers/Pneumatic Breakers	<i>Not within 1.0m of actual location.</i>
Vibrating Plate or Wacker Packer Compactor	<i>Not within 0.5m of Telstra ducts. 300mm compact clearance cover before compactor can be used across Telstra ducts.</i>
Boring Equipment (in-line, horizontal and vertical)	<i>Not within 2.0m of actual location. Constructor to hand dig or use non-destructive water jet method (pot-hole) and expose plant.</i>
Heavy Vehicle Traffic (over 3 tonnes)	<i>Not to be driven across Telstra ducts (or plant) with less than 600mm cover. Constructor to check depth via hand digging.</i>
Mechanical Excavators, Farm ploughing and Tree Removal	<i>Not within 1.0m of actual location. Constructor to hand dig or use non-destructive water jet method (pot-hole) and expose plant.</i>

All Telstra pits and manholes should be a minimum of 1.2m in from the back of kerb after the completion of your work.

All Telstra conduit should have the following minimum depth of cover after the completion of your work:-

Footway 450mm

Roadway 450mm at drain invert and 600mm at road centre crown

For clearance distances relating to Telstra pillars, cabinets and RIMs/RCMs please contact Telstra Plan Services (see above for details).

FURTHER ASSISTANCE:

Assistance can be obtained by contacting Telstra Plan Services

Where on-site location is provided, the owner is responsible for all hand digging or use non-destructive water jet method (pot-holing) to visually locate and expose Telstra plant.

If plant location plans or visual location of Telstra plant by digging reveals that the location of Telstra plant is situated wholly or partly where the owner plans to work, then Telstra's Network Integrity Group must be contacted through Telstra Plan Services to discuss possible engineering solutions.

NOTE:

If Telstra relocation or protection works are part of the agreed solution, then payment to Telstra for the cost of this work shall be the responsibility of the principal developer or constructor. The principal developer or constructor will be required to provide Telstra with the details of their proposed work showing how Telstra's plant is to be accommodated and these details must be approved by the Regional Network Integrity Manager prior to the commencement of site works.

RURAL LANDOWNERS


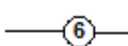

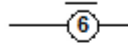

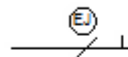
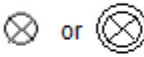
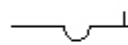

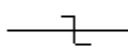

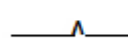



Where Telstra owned cable crosses agricultural land, Telstra may provide a once-off free on-site electronic cable location. The Telstra Plan Services operator will provide assistance in determining whether a free on-site location is required.

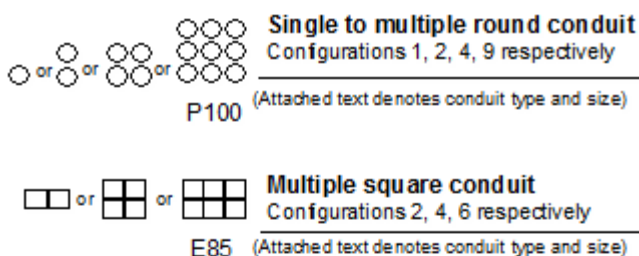
Please note:

- The exact location, including depth of cables can only be verified by pot holing, which is not covered by this service.
- This service is only available to assist private rural land owners.
- This service covers one hour on-site only. Additional time can be purchased directly from the Accredited Plant Locator.

For further information including terms and conditions, please contact Plan Services on **1800 653 935**.

LEGEND

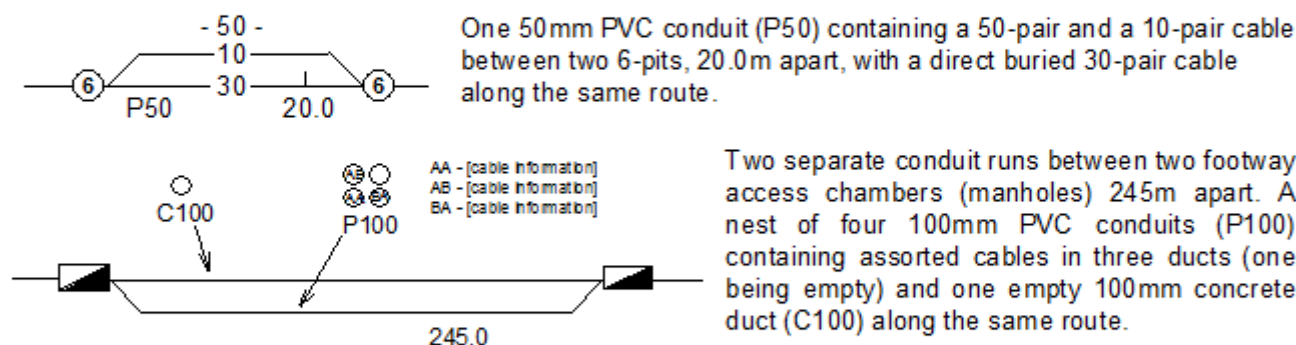
	Exchange (major cable present)		Cable jointing pit (number indicating pit type)
	Footway access chamber (can vary from 1-lid to 12-lid)		Buried cable jointing pit (number indicating pit type)
	Roadway access chamber		Elevated cable joint (above ground joint on buried cable)
	Pillar/cabinet (above the ground / free standing)		Cable loop (direct buried)
	Above ground complex equipment housing (eg RIM) Please Note: This equipment is powered by 240V electricity.		Telstra Plant in shared utility trench
	Public telephone Please Note: This equipment is powered by 240V electricity.		Aerial Cable (above ground)
	Direct buried cable		Aerial Cable (attached to joint use pole e.g. power)
			Optical fibre cable direct buried



Some examples of conduit type and size:
A - Asbestos cement, P - PVC / plastic, C - Concrete, GI - Galvanised iron, E - Earthenware.
Conduit sizes *nominally* range from 20mm to 100mm.

P50	50mm PVC conduit
P100	100mm PVC conduit
A100	100mm asbestos cement conduit
E 85	85mm square earthenware conduit

Some examples of how to read Telstra plans:



WARNING: Telstra's plans show only the presence of cables and plant. They only show their position relative to road boundaries, property fences etc. at the time of installation and Telstra does not warrant or hold out that such plans are accurate thereafter due to changes that may occur over time.

DO NOT ASSUME DEPTH OR ALIGNMENT of cables or plant as these vary significantly.

The customer has a DUTY OF CARE when excavating near Telstra cables and plant. Before using machine excavators TELSTRA PLANT MUST FIRST BE PHYSICALLY EXPOSED BY SOFT DIG (potholing) to identify its location.

Telstra will seek compensation for damages caused to its property and losses caused to Telstra and its customers.

ELECTRONIC PLANS - PDF AND DWF MAPS

If you have received Telstra maps via email you will have received the maps as either a PDF file (for smaller areas) or DWF file (for larger area requests). If you are unable to launch any one of the softcopy files for viewing and printing, you may need to download and install one or more of the free viewing and printing products such as Adobe Acrobat Reader (for PDF files) or Autodesk Design Review (for DWF files) available from the internet.

PDF files

PDF is the default softcopy format for all requests for areas up to approx *350m in length. (*depends on geographic location of request). The PDF file is formatted to A3 portrait sheet however it can be printed on any size sheet including from A4 to AO, either as the full sheet or selected areas to suit needs and legibility. (to print a selected area zoom up and print "current view"). If there are multiple layers of Telstra network you may receive up to 2 sheets in the single PDF file attachment supplied. There are three types or layers of network normally recorded - local network, mains cables or a combined layer of local and mains (usually displayed in rural or semi rural areas). If mains cable network is present in addition to local cables (i.e. as separate layer in a particular area), the mains will be shown on a separate sheet. The mains cable information should be read in conjunction with the local cable information.

DWF files

This is the default softcopy format for all requests for areas that are over 350m in length. Maximum length for a DWF automated response is approx 2500m - depending on geographic location of request (manually-processed plans may provide larger coverage). The DWF files differ from PDF in that DWF are vector files made up of layers that can be turned on or off and are not formatted to a specific sheet size. This makes them ideal for larger areas and for transmitting over email etc.

How to view Telstra DWF files -

Telstra DWF files come with all layers turned on. You may need to turn individual layers on or off for viewing and printing clarity. Individual layer names are CC (main cable/conduit), DA (distribution or local area network) and sometimes a combined layer - CAC. Layer details can be viewed by either picking off the side menu or by selecting 'window' then 'layers' off the top menu bar. Use 'layers' to turn individual layers off or on. (double click or right click on layer icon.)

How to print Telstra DWF files -

DWF files can be printed on any size sheet. They can be printed in their entirety or by selected areas of interest. Some DWF coverage areas are large and are not suited to printing legibly on a single A4 sheet - you may need several prints if you only have an A4 printer. Alternatively, an A3, A1 or larger printer could be used. To print, zoom in or out and then, by changing the 'print range' settings, you can print what is displayed on your screen to suit your paper size. If you only have a small printer, e.g. A4, you may need to zoom until the text is legible on your screen for it to be legible on the print. (which is why you may need several prints). To print what is displayed on your screen the 'view' setting should be changed from 'full page' to 'current view'. The 'current sheet' setting should also be selected. You may need to print layers separately for clarity and legibility. (details above on how to turn layers on or off)

How to change the background colour from white to black (when viewing) Telstra DWF files -

If using Autodesk Design Review the background colour can be changed by selecting "Tools" then "options" then "sheet". Tick the box "override published paper colors" and select the colour required using the tab provided.

Telstra Automated Mapping System

Telstra provides an automated plan response for the majority of DBYD requests received.

Requestors must supply a current email address on their request to DBYD and must also be able to accept a standard format of PDF or DWF. An automated response can be provided much faster than the alternative of a mailed hardcopy, and can avoid unnecessary delays in waiting for plans to arrive. Being softcopy, it can easily be sent directly to a worksite and can be available 7 days a week. The automated system can be configured for individual requestors to receive either PDF/DWF (where small requests are PDF and larger requests are DWF) or, alternatively, all in DWF (both small and large requests). Please contact Plan Services for further details or to have your preferences updated. Please note that all requests over *350m (approx.) in size can only be supplied in DWF format and there are size limits on what can be provided. (* actual size depends on geographic location of requested area)

ACCREDITED PLANT LOCATORS (For your area)

On-site assistance should be sought from an **Accredited Plant Locator** (Telstra accredited), if the telecommunications plant cannot be located within 2.5 metres of the locations indicated on the drawings provided.

On-site advice should be obtained from the Telstra Accredited Plant Locator who is highly skilled in locating Telstra plant. In the case where Telstra plant is outside a recognised road reserve Telstra recommends that Telstra Plan Services are contacted for assistance prior to engaging an Accredited Plant Locator.

Telstra does not permit external parties (non-Telstra) to conduct work on our network. Only Telstra staff or Telstra contractors that are correctly accredited are allowed to work on or enter our manholes, pits, ducts, cables etc.

Please note it is a criminal offence under the *Criminal Code Act 1995 (Cth)* to tamper or interfere with communication facilities owned by a carrier. Heavy penalties may apply for breach of this prohibition, and any damages suffered, or costs incurred by Telstra as a result of any such unauthorised works may be claimed against you.

Should your projects require Telstra network location, any asset plant locator that is used **MUST** be Telstra accredited to be able to access and locate Telstra network. (a list of which is provided with the Dial Before You Dig plans). A Telstra Accredited Plant Locator must have a current identification card issued by Telstra.

For the assistance of customers an accredited Asset Plant Locator can perform any of the following activities if requested to do so by the owner:

- review Telstra's plans to assess the approximate location of Telstra plant;
- advise owners of the approximate location of Telstra plant according to the plans;
- advise owners of the best method for locating Telstra plant;
- advise owners of the hazards of unqualified persons attempting to find the exact location of Telstra plant and working in the vicinity of Telstra plant without first locating its exact position; and
- perform trial hole explorations by hand digging (pot-holing) to expose Telstra plant with a high degree of skill, competence and efficiency and utilising all necessary safety equipment.

A list of Accredited Plant Locators operating in your area is attached. Accredited Plant Locators are certified by Telstra to perform the tasks listed above. Owners may engage Accredited Plant Locators to perform these services, however Telstra does not give any warranty in relation to these services that Accredited Plant Locators are competent or experienced to perform any other services.

The attached list provides the names and contact details for Accredited Plant Locators who service your area and can provide you with assistance in locating Telstra plant on site. These organisations have been able to satisfy Telstra that they have a sound knowledge of telecommunications plant and its sensitivity to disturbance; appropriate equipment for locating telecommunications plant and competent personnel who are able to interpret telecommunications plans and sketches and understand safety issues relevant to working around telecommunications plant. They are also able to advise you on the actions which should be taken if the work you propose will/could result in a relocation of the telecommunications plant and/or its means of support.

We recommend that you engage the assistance of one of these Accredited Plant Locators as a step towards discharging your Duty of Care obligations when seeking the location of Telstra's telecommunications plant.

Please Note:

- Optic fibre cable locations must be performed by a locator with Telstra optic fibre cable location accreditation. (not all copper accredited locators have optic fibre accreditation). The locators with additional optic fibre cable location accreditation are indicated by a 'yes' in the column headed 'Fibre' in the lists of locators that are published with the DBYD plans.

- Each Accredited Plant Locator is NOT permitted to provide depth of communications plant unless physically exposed by hand digging.
- The details of any contract, agreement or retainer for site assistance to locate telecommunications plant shall be for you to decide and agree with the organisation engaged. Telstra is not a party to any contract entered into between an owner and an Accredited Plant Locator. The Accredited Plant Locators are able to provide guidance concerning the extent of site investigations required.
- Payment for the site assistance will be your responsibility and payment details should be agreed before the engagement is confirmed.
- Telstra does not accept any liability or responsibility for the performance of or advice given by an Accredited Plant Locator. Accreditation is an initiative taken by Telstra towards the establishment and maintenance of competency standards. However, performance and the advice given will always depend on the nature of the individual engagement.
- Each Accredited Plant Locator has been issued with a certificate which confirms the Accreditation. Every 2 years Telstra will reassess the accreditation and where appropriate will issue a letter confirming the accreditation for the next 2 years. You have the right to request the organisation you engage to show evidence of their ID card.
- Neither the Accredited Plant Locator nor any of its employees are an employee or agent for Telstra and Telstra is not liable for any damage or loss caused by the Accredited Plant Locator or its employees.
- The attached list contains the current names and contact details of Accredited Plant Locators who service your area, however, these details are subject to change.

IDEA FOR CONSIDERATION:

Telstra offer free Cable Awareness Presentations & Advanced Cable Reading Presentations, if you believe you or your company would benefit from this offer please contact Network Integrity on 1800 810 443 or **F1102490@team.telstra.com**

Telstra Accredited Plant Locators - South Australia / Northern Territory.

If a physical location is required please contact a Telstra accredited locator from the list below (fees apply).

*Optic fibre cable locations must be performed by a locator with Telstra optic fibre location accreditation. Locators with Telstra optic fibre cable location accreditation are indicated by a 'yes' in the 'Fibre' column.

Northern Territory

Company name and areas/districts covered	*Fibre	Contact details
AnywAir Pipe & Cable Locators - Winnellie <i>All Of NT, Broome, Kununurra, Kalumburu, Weipa, Normanton, Burketown</i>	Yes	Mob: 0418 890 071
Australian Underground Survey Solutions Pty Ltd - Narre Warren <i>All Areas</i>	No	(03) 9700 2311 or 0419 488 883 Fax: (03) 9314 1568
Danisam Pty Ltd - Parap <i>Covering Northern Territory and the top of WA</i>	Yes	0417 089 865 Fax: 08 89416435
Dig Hard Excavations - Casuarina <i>Remote Communities NT</i>	Yes	0411 591 153 Fax: (08) 8945 0727
iFind PIPES 'N' CABLES PTY LTD - Winellie <i>All of NT</i>	No	0419 612 476 Fax: (08) 8941 2615 k.phelps1970@hotmail.com
Kellercom Pty Ltd - Port Pirie <i>Eyre Peninsula, Yorke Peninsular, Far North, Flinders Ranges, Mid North</i>	Yes	(08) 8632 5123 or 0428 600 077 Fax: (08) 8633 4792
Northern Communication Services - Casuarina	Yes	Mob: 0407 904 319
Pipeline Technology Services - Marlestone	No	(08) 8351 7000 or 0419 878 220 Fax:(08) 8159 7537
Subscan - Palmerston <i>Covering Darwin and Remote Areas of the Northern Territory</i>	No	0414 863 874 Fax: (08) 8988 3093
Trenchless Pipelaying Contractors - Plympton	Yes	(08) 8376 5911 or 0418 881 175
Visionstream Australia Pty Ltd - Perth Airport	Yes	(08) 6211 0813 or 0439 799 657 Fax: (08) 6211 0899 Email:nick.jenkins@visionstream.com.au

South Australia

Company name and areas/districts covered	Fibre	Contact details
Accurate Locating Pipes & Cables previously trading under the name of ' State Wide Precise Detection Pipes & Cables' - <i>Barossa Valley</i> <i>Adelaide, Adelaide Hills, Barossa Valley and all regions of SA</i>	No	0407 464 882
Adelaide Hills Pipe & Cable Location - <i>Mt Barker</i> <i>Servicing Adelaide Hills & Regional South Australia</i>	No	0419 822 781
Appcil Pty Ltd - <i>Winkie</i> <i>All Riverland areas of South Australia, plus Upper Mallee, North Western border areas of Vic and South Western NSW</i>	Yes	(08) 8583 7365 or 0439 822 102 Fax: (08) 8583 7356
Australian Underground Survey Solutions Pty Ltd - <i>Narre Warren</i>	No	(03) 9700 2311 or 0419 488 883 Fax: (03) 9314 1568
Baldock Earthmoving - <i>Normanville</i> <i>Covering - South Adelaide Hills, Fleurieu Peninsula</i>	No	(08) 8558 2686 or 0418 857 144 Fax: (08) 8558 2687
Barry Johnstone Locations and Communications - <i>Mt Gambier. South East Of South Australia (Limestone Coast), South West Victoria</i>	Yes	0418 834 804
BRP Products (Aust) Pty Ltd - <i>Thebarton</i> <i>Covering - All of SA</i>	No	(08) 8234 0633 Fax: (08) 8234 0920
Cable Search Services - <i>Echunga</i> <i>Rural Areas of SA excluding Adelaide metro area</i>	Yes	0417 866 121 Fax: (08) 8388 8643
Capogreco Excavations Pty Ltd - <i>Mildura South Mildura, Wentworth, Gol Gol, Dareton, Ouyen, Robinvale, Merbein</i>	No	(03) 5022 2070 or 0428 356 269 Fax (03) 5022 7003
Corny's Cabling & Phones Pty Ltd - <i>Port Lincoln Eyre Penninsula</i>	Yes	0409 814 464
D-TECH Ground and Overhead Services Ptd Ltd - <i>Notting Hill All of Vic</i>	No	0421 697 090 Email: tina@d-tech.net.au
Detect SA Ptd Ltd - <i>Redwood Park All Areas</i>	Yes	0407 649 759 Fax (08) 8264 9759
Dial-A-Trench - <i>Dernan Court</i>	No	0408 804 742
Far West Communication – <i>Broken Hill NSW Areas – Cobar, Menindee, Tibbaborra, Ivanhoe & surrounding areas</i> <i>S.A Areas – Eastern Regions of S.A including Mingary and Cockburn</i>	Yes	0439 350 355
Green Triangle Electronics – <i>Mt Gambier South East of South Australia and Western Victoria</i>	No	(08) 8724 2222 Fax: (08) 8723 0249
Independent Locating Services - <i>Meadows</i>	No	0418 812 325 Fax:(08) 8388 3180

Kellercom Pty Ltd - Port Pirie <i>Eyre Peninsula, Yorke Peninsular, Far North, Flinders Ranges, Mid North</i>	Yes	(08) 8632 5123 or 0428 600 703 Fax: (08) 8633 4792
Larsen Electrics - Red Cliffs <i>Mildura & Districts, NSW South, SA</i>	No	(03) 5024 1733 or 0428 385 610 Fax (03) 5024 1170
National Civil & Civic Services – Thebarton <i>All Areas South Eastern SA</i>	Yes	0422 768 660 nathan.smith@naticiv.com.au
P.A Plumbers - Golden Grove	No	(08) 8251 1733 or 0408 442 210 Fax: (08) 8251 1833
P.D Excavations Pty Ltd - Regency Park	No	(08) 8347 0055 or 0408 820 408 Fax: (08) 8347 0150
Pipeline Technology Services - Marlestone	No	(08) 8351 7000 or 0419 878 220 Fax:(08) 8159 7537
Plumbing & Pipeline Solutions (SA) Pty Ltd - Marlestone	Yes	(08) 8297 1000 or 0408 809 928 Fax: (08) 8297 0088
Riverina Horizontal Boring Pty Ltd - Wodonga	No	(02) 6059 1788 or 0419 149 153 Fax: (02) 6059 5090
SADB Directional Boring - Newton	No	(08) 8168 7200 Fax: (08) 8168 7299
Service Locate Pty Ltd – Mawson Lake	No	0424 906 777
Subtrax - Meningie <i>Covering South Australia statewide</i>	Yes	(08) 8575 1434 or 0429 808 850
Sure Search - Walkerville	Yes	0418 896 772 Fax:(08) 8362 1179
T&J Constructions P/L - Greenfields	No	(08) 8182 6989 or 0419 840 218 Fax: (08) 8182 6587
Tatiara Trench Digger & Bobcat Hire - Bordertown <i>Covering districts - Bordertown and surrounding, Naracoote, Kingston, Meningie, Pinnaroo, Keith</i>	Yes	(08) 8752 1197 or 0428 587 596 Fax:(08) 8752 0406
Trenchless Pipelaying Contractors - Plympton <i>Covering all Metropolitan and Country Areas in S.A.</i>	Yes	(08) 8376 5911 or 0409 451 550
Tron Civil Contracting Pty. Ltd –Salisbury South	No	(08) 8281 3860 Fax:(08) 8281 0278
Vac-U-Digga - Lonsdale <i>Adelaide, Port Pirie, Whyalla, Port Augusta, Roxby Downs</i>	No	0447 466 036 or 1300 822 836
Wet Plumbing Service - Park Holme	No	0419 938 938

Appendix E: Borehole Logs

Unit No.	Logger name	Depth from (m)	Depth to (m)	Lithology code	Description
6629-1205	UNKNOWN	0	3.6	CLYU	Red brown clay.
6629-1205	UNKNOWN	3.6	6.7	CLYU	Gravelly clay. Old Litho Interval Minor Litho (GRVL).
6629-1205	UNKNOWN	6.7	11	SLAT	Grey slate with seams of gravel and clay.
6629-1205	UNKNOWN	11	20	SLAT	Grey slate with broken seams.
6629-1205	UNKNOWN	20	21		Extremely hard rock.
6629-1214	WALSH M	0	6	TPSL	Topsoil, red sticky clay. Old Litho Interval Minor Litho (CLYU).
6629-1214	WALSH M	6	56		Hard blue rock, some fractures.
6629-1215	WALSH M	0	6	CLYU	Hard red clay.
6629-1215	WALSH M	6	20		Poor to nil circulation. Had to use thick foam injection.
6629-1215	WALSH M	20	34	SLAT	Hard blue slate.
6629-1215	WALSH M	34	42	SLAT	Hard slate some fracturing.
6629-1215	WALSH M	42	75	SLAT	Hard blue slate.
6629-1215	WALSH M	75	76	SLAT	Fractured slate.
6629-1280	MAYNARD D J	0	2	CLYU	
6629-1280	MAYNARD D J	2	5	CLYU	Clay and gravel. Old Litho Interval Minor Litho (GRVL).
6629-1280	MAYNARD D J	5	15	SLAT	Grey slate with broken W.B. seams.
6629-1280	MAYNARD D J	15	25	SLAT	Hard grey slate.
6629-1281	MAYNARD D J	0	7	CLYU	
6629-1281	MAYNARD D J	7	11	CLYU	Clay and gravel. Old Litho Interval Minor Litho (GRVL).
6629-1281	MAYNARD D J	11	12	SLAT	Grey slate.
6629-1308	MAYNARD D J	0	7	CLYU	
6629-1308	MAYNARD D J	7	14	SLAT	
6629-1343	MAYNARD D J	0	3	CLYU	Clay and rubble. Old Litho Interval Minor Litho (RUBL).
6629-1343	MAYNARD D J	3	6	SHLE	Soft shale and slate. Old Litho Interval Minor Litho (SLAT).
6629-1343	MAYNARD D J	6	67	SLAT	Hard grey slate.
6629-1522	MAYNARD S R	0	10	CLYU	Red clay
6629-1522	MAYNARD S R	10	12	CLYU	Clay & gravel
6629-1523	MAYNARD S R	0	3	CLYU	Clay
6629-1523	MAYNARD S R	3	12	SLAT	Broken grey slate
6629-1528	MAYNARD S R	0	7	CLYU	Clay & shale
6629-1528	MAYNARD S R	7	22	SLAT	Grey slate with soft seams
6629-1733	MAYNARD S R	0	10	CLYU	clay and rubble
6629-1733	MAYNARD S R	10	12	GRVL	gravel and clay
6629-1734	MAYNARD S R	0	5	CLYU	red clay
6629-1734	MAYNARD S R	5	35	SHLE	shale and siltstone
6629-1734	MAYNARD S R	35	83	SLST	grey siltstone
6629-1820	MAYNARD S R	0	1	LMST	Limestone
6629-1820	MAYNARD S R	1	10	SHLE	Weathered shale
6629-1820	MAYNARD S R	10	75	SLAT	Grey slate
6629-2103	MAYNARD S R	0	9	CLYU	Clay
6629-2103	MAYNARD S R	9	15	SLST	Weathered siltstone
6629-2103	MAYNARD S R	15	35	SLST	Grey siltstone and slate
6629-2230	MAYNARD S R	0	5	CLYU	Red CLAY
6629-2230	MAYNARD S R	5	15	CLYU	CLAY and gravel
6629-2230	MAYNARD S R	15	21	SLAT	Grey SLATE with loose seams
6629-2231	MAYNARD S R	12	30	SLAT	Grey SLATE

Appendix F: Site Inspection Plates

Clare and Gilbert Valley Councils - Lot 8, Auburn

Plate 1 - Typical broad acre and grazing property (looking directly east).



Plate 2 - Typical native vegetation lining the north east corner of the site.



Plate 3 - Typical residential development along northern boundary.



Plate 4 - Typical farm shedding on the property.



Plate 5 - Areas of stockpiling.



Plate 6 -Disused chicken sheds used for storage.



Plate 7 -Typical rainwater tanks for irrigation and stock purposes.



Plate 8 -Evidence of livestock (sheep) and stockpiling of feed(hay).



Plate 9 -Typical poultry pen.



Plate 10 - Typical farm house.



Plate 11 - Native/non native vegetation in the north east portion of site.



Clare and Gilbert Valley Councils - Allotment 58, Auburn

Plate 1 - Grazing paddocks for cattle.



Plate 2 - Typical stockpiling of drums (used for planting of trees).



Plate 3 -Typical stockpiling of old fence wiring/posts in disused trailer.



Plate 4 - Native and non native vegetation along boundaries.



Plate 5 - Stockpiling of sandstone and cattle pens.



Plate 6 - Evidence of livestock on property.



Plate 7 - Hay and motorised vehicle shed in background.



Plate 8 - Small vineyard located next to northern boundary.



Plate 9 - Stockpiling of prunings and untreated timber.



Plate 10 - Emerging residential development along the southern boundary.



Plate 11 - Evidence of onion and perennial weeds.

